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CONSERVATION MANAGEMENT STRATEGY

GOLDEN VALLEY TREE PARK HOMESTEAD

PREPARED FOR: DEPARTMENT OF
BIODIVERSITY, CONSERVATION AND
ATTRACTIONS

DATE: FEBRUARY 2023



Cover Image:
Photograph taken by Stephen Carrick Architects, 11 November 2022.

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Stephen Carrick Architects have recently prepared Conservation Management Strategies for:

- Golden Valley Tree Park Workers' Accommodation, Balingup
- St Paul's Anglican Church, Narembeen
- Narembeen Public Hall
- 1 Clarkson Road, Maylands
- Former Perth Girls' Orphanage, East Perth
- Residence - 145 Parry Street, Perth
- St Maria Goretti Catholic Church, Jarrahdale
- Manners Hill Park Pavilion, Peppermint Grove
- Success Hill Lodge, Bassendean
- St Alban's Church, Highgate

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INTRODUCTION

This Conservation Management Strategy (CMS) for the Golden Valley Tree Park Homestead has been prepared for the Department of Biodiversity, Conservation and Attractions.

The Golden Valley Tree Park Homestead is a single storey rendered mud brick house located on Lot 11, 164 Old Padbury Road, Balingup within the Golden Valley Tree Park. The building is included on the State Register of Heritage Places as part of *P00707 Golden Valley*.

The Golden Valley Tree Park is a sixty hectare landscaped park¹ located approximately 230 kilometres south of the Perth CBD and about 1.6 kilometres south of the Balingup townsite.

The Homestead is the main building on the site with the smaller steel clad Golden Valley Workers Accommodation located approximately 60 metres to the south. The building is screened from the street by a large hedge (species name *Cupressus macrocarpa* or Monterey Cypress) and surrounded by a number of mature trees.

This report provides background information, a description of heritage listings and a practical guide to the maintenance and conservation of the place, noting the cultural heritage values of the place. This Conservation Management Strategy is consistent with best practice in heritage conservation. This Conservation Management Strategy has been prepared in accordance with the principles, processes and practice as outlined in the ICOMOS Burra Charter (2013). Definitions of terms are in accordance with the Burra Charter.

The Homestead is set within a mature landscape. This Conservation Management Strategy focuses on the built form; however, the contribution of the adjacent and the surrounding landscape is acknowledged. It is assumed that the landscape will form part of the overall Tree Park management strategy.

The site was inspected by Stephen Carrick Architects on 11 November 2022. The site visits allowed for visual inspection of the Homestead, photograph the building, and prepare measured drawings. Photographs are included as an appendix to this assessment. (APPENDIX A).

No additional primary source research has been undertaken and the following secondary source information has been provided or accessed for the preparation of this document:

- State Register of Heritage Places: P00707 Golden Valley Assessment Documentation, Heritage Council of Western Australia.
- Shire of Donnybrook - Balingup Local Heritage Survey: Place Number 34 Golden Valley and Place Number 35 Golden Valley Tree Park.
- Transcript of Interview between Susan Doherty and David and Wendy Ayers, August 2021.
- Oral history interview of Dr Chrissy Sharp, recorded by Susan Doherty, dated March 2021
- Golden Valley Homestead, Evaluation for the Department of Conservation and Land Management, prepared by John Pidgeon c1990.
- Golden Valley Homestead Works Drawing Set and Cost Breakdown, prepared by John Pidgeon c1990.
- Golden Valley Homestead Restoration Proposal, prepared by Hocking Planning and Architecture, dated 4 September 1991.

A Conservation Management Strategy is an owner's practical guide to the maintenance of a heritage place. Amongst other things, it contains a Building Condition Assessment Report, Conservation Management Schedule and Maintenance Schedule. This CMS provides practical information to assist in the maintenance of the Golden Valley Tree Park Homestead by providing an understanding of its current condition and the necessary actions to be undertaken to ensure that the significance of the place is not lost or compromised. This CMS promotes effective decisions through providing conservation principles and maintenance schedules for the place.

¹ Golden Valley Tree Park Website, Accessed 12/09/2022, <http://www.goldenvalleytreepark.org.au/>

1.1 ACKNOWLEDGEMENTS

The consultant team would like to acknowledge the assistance of the following people in the preparation of this Conservation Management Strategy:

- Natasha Moore, Acting Sustainable Forest Management Coordinator - Department of Biodiversity, Conservation and Attractions.
- Hannah Bailey- Senior Heritage Officer at the National Trust of Western Australia
- Jan Michelle Helsham, Former Heritage and Cultural Secretary - Committee of the Golden Valley Tree Park Inc.
- Friends of Golden Valley Tree Park: Gary Hodge, Andrew Thamo, Laurence Capill.
- Lester Gabler- Current tenant

1.2 HOW TO READ THIS DOCUMENT

This Conservation Management Strategy is divided into four (4) Sections:

1. Conservation Management Strategy
2. Appendix A - Building Condition Assessment Report
3. Appendix B - Measured Drawings & Recommended Conservation Works
4. Appendix C -Site Photos

Sections are intended to be read in conjunction with one another. Works and Maintenance Schedules, included in the Conservation Management Strategy, are informed by the data collated in Appendices A, B and C.

For the purpose of this report, Stephen Carrick Architects have simplified the orientation of the Homestead. The report considers the west elevation as the elevation of the Homestead that faces Old Padbury Road. The Works' Accommodation is considered to be to the south of the Homestead. Please refer to the provided measured drawings to elevation names and orientation.

1.2 LOCATION PLAN



Regional

Source: Google Earth, Accessed 12/09/2022



Location Plan

Source: Google Earth, Accessed 12/09/2022

1.3 CURRENT HERITAGE LISTINGS

The following section identifies the current heritage listings and cultural heritage significance of the Golden Valley Homestead.

Listings

National Heritage List (Commonwealth)	No
Register of Heritage Places (State)	Yes
Classified by the National Trust of Australia (WA)	Yes
Local Heritage Survey (LHS)	Yes
Local Heritage List	Yes

State Register of Heritage Places

The Heritage Council of Western Australia maintains a heritage database, 'InHerit'. The database contains information on statutory and non-statutory heritage listings, and the results of heritage surveys and studies. Inclusion on the State Register carries statutory requirements.

The Golden Valley Homestead is located within the Golden Valley Tree Park and is included on the Heritage Council of Western Australia's Register of Heritage Places as part of *P00707 Golden Valley*. The place was permanently listed on 14 December 2001.

National Trust of Australia (WA)

National Trust classification provides community recognition of a place as having cultural heritage significance. It does not carry any legal requirements.

Golden Valley Homestead is classified by the National Trust of Australia (WA) as part of Golden Valley. The place was classified on 03 December 1979.

Local Heritage Survey (LHS)

A Local Heritage Survey (previously known as a Municipal Heritage Inventory) is an ongoing database that records and provides information on places of cultural heritage significance located within the municipality.

The Golden Valley Homestead is included on the Shire of Donnybrook - Balingup Local Heritage Survey as part of *Place Number 34 Golden Valley* with a Management Category 1.

Management Category 1 is defined as 'Highest level of protection appropriate: recommend for entry in the State Register; Council will provide maximum encouragement to the owner to conserve the significance of the place.'

Heritage List

The Shire of Donnybrook - Balingup is currently preparing a Local Heritage List. As the place is a Management Category 1, it is assumed that the Golden Valley Tree Park will be included on the Local Heritage List as it is a State Registered Place.

1.4 STATEMENT OF SIGNIFICANCE

The following Statement of Significance has been directly sourced from the Heritage Council of Western Australia's Register of Heritage Places Entry Documentation for *P00707 Golden Valley*.

Golden Valley, an arboretum, landscape setting, with a single storey rendered mud brick and Colorbond corrugated steel homestead in the Victorian Georgian style, and a timber framed metal clad cottage, has cultural heritage significance for the following reasons:

- the natural topography, exotic and native trees, Inter-War tree plantings and subsequent arboretum plantings, meadows, a creek, early cottage, and homestead create a pleasing setting with significant aesthetic and landscape value;
- its setting, design, and the quality of the accommodation, together with subsequent changes to the fabric, provide evidence of the social and economic status of the occupiers;
- the buildings exhibit characteristics of an 1880s, purpose built homestead and workers' accommodation;
- it is highly valued by the community for its associations with the European settlers of the South-West, in particular the Roberts family for whom the place was built, and with the later owners who contributed to the development of Balingup and to the life of the community;
- it contributes to the community's sense of place for its important role in the development of Balingup, and its integral association with the arboretum, Golden Valley Tree Park, which has been interlinked with the place since the 1980s; and,
- the arboretum has developed as a resource for the study of native and exotic trees and provides a reference for many plant types, while at the same time forming a setting of some importance.

2.1 DOCUMENTARY EVIDENCE

The following Documentary Evidence has been directly sourced from the Heritage Council of Western Australia's Register of Heritage Places Assessment Documentation for P00707 Golden Valley.

Golden Valley is a homestead (c. 1880s) and workers' accommodation (1880s) set in former farmland and an arboretum. It comprises a single storey rendered mud brick domestic house with a corrugated Colorbond steel roof, constructed for W. C. F. Roberts in the 1880s, with the addition of an organ room c. 1900. The latter was reconstructed c.1991. The workers' accommodation is a two roomed dwelling which is timber-framed with exterior walls of corrugated iron, and interior walls of pressed metal and lathe and plaster, with a corrugated iron roof.

In January 1840, Assistant Surveyor H. M. Ommanney went with Vernon and Charles Bussell, and an Aborigine named Eragargoot from Eundilup (later Busselton) via a circuitous route to Elap (later Bunbury- Picton area) in order to inspect the area where Capel and Preston Rivers leave the hills.¹ Ommanney noted "a tract of very fine country well adapted for grazing and in places, agriculture."² Major Irwin, J. C. Singleton and R. H. Bland and Warburton made a short excursion from the Blackwood River to Balingup Brook when they traveled from King George Sound to Vasse in January 1842. Bland noted the vegetation was "very dense and the hills very steep."³ Surveyor-General J. S. Roe further explored the area in January 1849.⁴

In 1859, Walter Padbury was the first European settler to take up land in the Balingup district, taking up Location 3 in Nelson Location.⁵ Padbury established his brothers, Mark and Edwin, at Ferndale and Brooklands, from where they managed his considerable holdings in the district.⁶ The homesteads built at both were similar in style, with the rooms opening to

verandahs on either side.⁷ The name Padbury is commemorated in Padbury Road.

In the 1860s, land use in the district was mixed farming, mainly for cattle grazing until the introduction of large flocks of sheep in the late 1860s, and with some land under tillage.⁸

*On 20 July 1885, Charles Fox Roberts, Farmer, of Bunbury, was granted Nelson Location 165, 197 acres in area, in return for an annual peppercorn rent.⁹ On 3 August, a Certificate of Title was issued to him as sole proprietor.¹⁰ Charles Fox Roberts (b. 1844) was the youngest child of William Jenkin and Isabella Roberts, who had arrived per *Diadem* in April 1842.¹¹ In September 1864, at Bunbury, he married Hannah Hurst (b. 1845, arr. 1849 per *Hamilla Mitchell*), who had 12 children (1865-88), William Charles Fox being the eldest surviving child and the one most closely associated with Golden Valley.¹² From 1867 to 1876, Roberts was a farmer and grazier at Capel Farm, and took over his father's tenancy of Governor Stirling's Estate at Minnipup until c. 1887, when he owned Greenfields at Stratham.¹³*

In 1886, William Charles Fox Roberts married Mary L. Longbottom (b. 1864, d. 1907). Although on source recorded William Charles Fox Roberts as the first owner of the place¹⁴, the historic Title search for this Assessment reveals that his father continued in ownership. Thus it seems likely that William Charles Fox Roberts worked the property for his father. In addition to the freehold at Nelson Location 165, it appears that Roberts had taken up leases and/or additional freehold land, as the total holding was c. 1,200 acres, which was first used to run cattle.¹⁵

Primary research will be required to ascertain

1 Frost, A. C. *Baylya-Balinga A History of Balingup*, W. A. (Donnybrook-Balingup Shire Council, 1979) p. 3.

2 Ommanney, H. M. "Exploration Diaries, Vol. 1, 1827-1832" quoted in Frost, A. C. *Baylya-Balinga A History of Balingup*, W. A. (Donnybrook-Balingup Shire Council, 1979) p. 5.

3 Frost, A. C. op. cit., p. 5.

4 *ibid.*

5 *ibid.*, p. 13.

6 *Ibid.*, p. 22.

7 Nairn, J. op. cit., p. 192.

8 Nairn, J. op. cit., pp. 169-170.

9 Grant under Land Regulations of 14 September 1878, 6C/23. Note: Frost (1979, p. 88) states Roberts' son, W. C. F. Roberts, 'settled on Golden Valley in 1880'. Further research is necessary to determine if C. F. Roberts had taken up pastoral leases in the locality at this period, and if his 15 year old son was working there.

10 Certificate of Title Vol. XV Fol. 151.

11 Erickson, Rica (Ed.) *The Bicentennial Dictionary of Western Australians pre-1829-1888* (University of Western Australia Press, Nedlands, 1987-88) p. 2642.

12 *ibid.*, p. 2636.

13 *ibid.*

14 Erickson, Rica (Ed.) op. cit., 1897. Note: In 1895 per p. 2642.

15 Frost, op. cit.

whether any permanent buildings and/or other structures were erected in this early period, and to ascertain the dates of construction of the extant buildings at the place, i.e. the homestead and the workers' accommodation. Previous assessments by the National Trust of Australia (W. A.) and the Australian Heritage Commission noted that the two room corrugated iron building was believed to be the original homestead constructed in the 1880s.¹⁶ Both buildings were built next to the Balingup Brook, a short distance apart.

The two room building (1880s) was constructed with a timber frame, corrugated iron external walls on three sides and timber weatherboards on the fourth, and a corrugated iron roof. The external walls extant in 2001 bear the Redcliffe Trademark. The interior walls were clad with pressed metal in a decorative pattern to dado height, and lathe and plaster above. There was a brick fireplace and chimney in the centre of the building.¹⁷ The use of pressed metal as a decorative finish suggests that it may well have been the original homestead as this finish was unlikely to be found in a building constructed as workers' accommodation.

Agricultural progress in the Balingup district was slow through the 1880s and 1890s, when the predominant land use continued to be for pastoral purposes.

The present homestead was also built at the place in the late nineteenth century. The dates of construction given in various sources vary from 1800s to 1895.¹⁸ Previous assessments have recorded the place was built for and occupied by Charles Fox Roberts; however, as noted above, it is more likely that the place was built for his son, William Charles Fox Roberts, who occupied it with his family.¹⁹ The single storey homestead was built in the Victorian Georgian style, of soft burnt bricks in mud mortar, with timber joinery mostly of jarrah, and a corrugated iron roof.²⁰ The central core of the building was pit sawn jarrah, with butt jointed

boards.²¹ The construction materials and the simple vernacular design, with verandahs at the front and rear, are similar to other homesteads built in the South West in the latter half of the nineteenth century. Thenceforward the two-room building was probably used as workers' accommodation.

In 1898, Balingup was declared a township; and, on 1 November, the railway line between Donnybrook and Bridgetown, was opened to traffic as a Government line, passing through Balingup.²²

In the early 1900s, a large room extending the width of the homestead was added to the place, with one end of the room built up to accommodate the pipe organ, and the room became known as the organ room.²³ The precise details of the addition have not been established, and it is not certain whether the room was added during the ownership of Roberts, or one of the subsequent owners in the pre World War One period.

On 18 March 1904, the place was transferred by endorsement to Mountray Frederick Richardson Bunbury, Farmer, of Picton near Bunbury.²⁴

In June 1905, the Balingup Progress Association was formed.²⁵

On 29 December 1906, the place was transferred by endorsement to Francis Craig, Gentleman, of Perth.²⁶ His sons, Leslie and Colin, both served with the Light Horse Troop, and Colin met and later married the daughter of General Birdwood, Commander in Chief of the Australian Military Forces.²⁷ They returned to Golden Valley after the war, and General Birdwood visited them at the place.²⁸

16 National Trust of Australia (W. A.) Assessment, 9 September 1979.

17 *ibid.*

18 HCWA Data Base 0707 and National Trust of Australia (W. A.) Assessment and File.

19 Wise's Post Office Directory 1895, in Frost, A. C. op. cit., p.37.

20 National Trust of Australia (W. A.) Assessment, 9 September 1979.

21 HCWA Data Base 0707 op. cit.

22 Frost, A. C. op. cit., p. 41.

23 Frost, A. C. op. cit.

24 Certificate of Title Vol. XV Fol. 151. Note: previous documentation per HCWA Data Base No. 0707, National Trust of Australia (W. A.), and Register of the National Estate recorded Mountray and Bunbury as two separate owners of the place.

25 Frost, A. C. op. cit., p. 45.

26 Certificate of Title Vol. XV Fol. 151.

27 Frost, A. C. op. cit., p. 53.

28 *ibid.*

He was persuaded to open the Memorial Park and to plant the first tree, and thereafter the park became known as Birdwood Park.²⁹

On 26 March 1920, the place was transferred to Edmund Peter Blakeney, Farmer, of Balingup.³⁰ Peter Blakeney owned the place for 25 years; and for part of this period, a golf course was located on the property.³¹

On 18 January 1921, a portion of Nelson Location 165 was transferred to George Gull; and a new Certificate of Title was issued for the balance, being 190 acres 15 perches in area, on 15 March.³²

In the 1930s, the introduction of subterranean clover into the district substantially improved the stock-carrying capacity of the land, and together with mechanisation of milking (initially with petrol driven machines) enabled the expansion of dairy herds. By this date, Balingup township had become 'a thriving little community', as the local farming community had been considerably increased by the division into smaller farms of a number of the larger estates, some as part of the government's Soldier Settlement Scheme.³³

In 1945, the place was transferred from Blakeney to David Bruce Goyder, of View Street, Peppermint Grove, less a portion resumed for South Western Highway.³⁴ The Goyder family took up residence at the place, and worked the farm with some assistance from a prisoner of war.³⁵ At this period, the homestead gardens were well established and well maintained, with a post and rail fence enclosing the grounds. The front hedge was mature, and was valued by the family as it screened the homestead and absorbed dust from traffic along the road. The extant outbuildings included a closet to the northeast of the homestead, wood shed at the east, early stables and later hay-shed to the south-east, and dairy to the east, by the road.³⁶ A new shed was built opposite the

homestead on the south-west side of Padbury Road, which is extant in 2001. None of the other outbuildings are extant in 2001, other than the two room cottage; however, there are remnants of the dairy.

During the occupation of the place by the Goyder family, rooms B, E, G, and F were used as bedrooms; room I was converted from kitchen to smoking room for Mr. Goyder; room H was converted to a kitchen with a wood combustion stove installed; room A was referred to as 'the big room, and served as the living room; room C was a passage leading to room A; and room J, in which the bellows for the organ had been housed during the Craig family's occupation, was 'always unfinished' and was used as a store room for groceries etc. During this period, a new w. c. was built beside the existing bathroom. The timber dais was extant in room A. Wedding receptions and other gatherings were held in 'the big room.'³⁷

On 10 July 1946, the place was transferred to Jean Barbara Goyder, Married Woman, and David John Barr Goyder, Farmer, both resident at the place, as tenants in common, with two thirds shares held by Mrs Goyder, and the remaining one third share by her husband.³⁸

In the 1950s, the Forests Department expanded its pine planting program in the South-West, and had purchased 6,794 hectares of land for pine planting mainly in the Blackwood Valley by June 1959.³⁹

On 15 February 1963, Golden Valley, 190 acres and three perches in area, was transferred to John Tomlinson, Farmer, of Como.⁴⁰

Despite objections by local people who feared that the continuation of this program would see the Blackwood Valley taken over by pine plantations, there was a steady increase and consolidation of the program through the 1960s, and after 1963, the annual rate of planting of *Pinus radiata* was in excess of 1,250 hectares.⁴¹

29 *ibid.* Note: The park became a popular picnic place, with a swimming pool in Balingup Brook.

30 Certificate of Title Vol. XV Fol. 151.

31 Frost, A. C. *op. cit.*, p. 49.

32 Certificate of Title Vol. 800 Fol. 88.

33 *ibid.*, p. 48.

34 Certificate of Title Vol. 800 Fol. 88.

35 Pat Somerset (nee Goyder), conversation with Robin Chinnery, 5 June 2001.

36 *ibid.*

37 *ibid.*

38 Certificate of Title Vol. 800 Fol. 88.

39 Frost, A. C. *op. cit.*, pp. 109-111.

40 Certificates of Title Vol. 800 Fol. 88 and Vol. 1269 Fol. 387.

41 Frost, A. C. *op. cit.*, p. 109.

On 16 December 1977, the place was transferred to The Conservator of Forests.⁴² On 10 July 1981, Certificate of Title Vol. 1269 Fol. 387 was totally cancelled, and a new Certificate was issued for portion of Nelson Location 165.⁴³

In 1979, the place was assessed by the National Trust of Australia (W. A.), and subsequently classified on 3 December.⁴⁴ The assessment drew attention to the organ room as a distinctive feature of the place, and noted that this room was 'in a dangerous state'.⁴⁵

In 1981, it was reported that the homestead "is currently being renovated to maintain historical and architectural values."⁴⁶ Details of the work undertaken at this period have not been ascertained.

[The organ room originally had a gable roof extending east to west, perpendicular to the main homestead. It is purposed that during these works the roof was removed, the walls halved in height and the gable reconstructed to its current state.]⁴⁷

Under the Balingup Progress Association, a Committee was formed to raise money for the works required at the place, and to manage the project to develop an arboretum as a joint project with CALM.⁴⁸ 60 hectares was set

aside for the park, divided into two sections at the west and east sides of Padbury Road.⁴⁹

On 30 July 1984, a new Certificate of Title was issued for portions of Nelson Location 165 and the adjoining Nelson Location 102 as per Diagram 66191.⁵⁰ On the same day, that Certificate was cancelled, and new Certificates were issued for Lots 10 and 11, Lot 11 being the site of the homestead, with an area of 9.9128 hectares.⁵¹

Under the Balingup Progress Association, a Committee was formed to raise money for the works required at the place, and to manage the project to develop an arboretum on land which had been part of Golden Valley and Yungerup, which would include many of the mature trees planted by former owners of the places.⁵² The park has been established as 'a unique collection of beautiful and interesting trees from all over the world, grown in a landscaped setting', with the aim of creating 'an inspirational place for all who enjoy the beauty of nature.'⁵³ The area to the west of the road was established as the Australian collection, and the area to the east as the exotic collection, with plaques engraved with details of the individual plantings, and with walk trails through the park. A membership and sponsorship scheme was established to support the park.⁵⁴

The place was entered in the Register of the National Estate. The Statement of Significance described it as 'an important example of a modest rural homestead complex', which was valued along with its grounds 'as part of the Golden Valley Tree Park.'⁵⁵

42 Certificate of Title Vol. 1269 Fol. 387.

43 Certificates of Title Vol. 1269 Fol. 387 and Vol. 1596 Fol. 977.

44 National Trust of Australia (W. A.) Assessment, 3 December 1979.

45 *ibid.*

Note: the Assessment reported that the organ had been removed to the North Perth Congregational Church; and a note was added that the organ's whereabouts were unknown since the formation of the Uniting Church. On the other hand, Frost (1979, p. 53) reported that according information given to him, the organ was in St. Mary's Church of England in West Perth in 1979.

46 Christensen, P., Pentony, K. and Schmidt, W. Special Focus No. 2 *The Blackwood: A Valley in Transition* (B. J. Beggs, Conservator of Forests, Forests Department of Western Australia, Perth, W. A., 1981) p. 26.

47 J.Pidgeon, *Golden Valley Homestead Works Drawing Set and Cost Breakdown* c1990
I. Hocking, *Golden Valley Homestead Restoration Proposal* 1991

48 National Trust of Australia (W. A.) File; and Wendy Trow, conversation with Robin Chinnery and Philip Griffiths on site visit, 21 May 2001.

49 Pamphlet 'Golden Valley Tree Park Balingup'.

50 Certificates of Title Vol. 1596 Fol. 977 and CT 1672 Fol. 140.

51 Certificates of Title CT 1672 Fol. 140, and for Lot 11, CT 1672 Fol. 142.

52 National Trust of Australia (W. A.) File; and 'Golden Valley Tree Park Balingup' *op. cit.*

Note: a large orchard was established at Yungerup by Frank Cleveland, about three km south of Balingup on the old Baligup - Greenbushes Road.

53 'Golden Valley Tree Park Balingup' *ibid.*

54 *ibid.*

Note: many of the plaques are missing in 2001, mostly as a result of damage by sheep which are grazed in the park. (Site visit and Wendy Trow *op. cit.*)

55 HCWA Data Base 0707.

In July 1990, the Acting District Manager of CALM at Kirup wrote to the National Trust of Australia (W. A.) regarding a proposal to restore the place, and its possible future use as a public information centre and conservation project base.⁵⁶ In November 1990, a schedule of proposed works to be implemented at the place was drawn up, with the assistance of the National Trust of Australia (W. A.) and Architect John Pidgeon.⁵⁷ Proposed works included replacement of a number of doors and architraves, re-glazing of windows, electrical works, plumbing, refurbishment including rendering and cement bagging of walls where required, painting walls, doors, windows etc., at an estimated cost of \$27,850; with an additional allowance of \$2,150 for maintenance on the grounds including fences and pathways, bringing the total to \$30,000.⁵⁸ At this period, the original timber ceilings in the five front rooms of the place were extant, but had been damaged by termites.⁵⁹

In March 1991, the National Trust of Australia (W. A.) urged that timber ceilings should be used to replace and reinstate the ceilings where necessary, advised that the use of gyprock cornices would be inappropriate, and also saw 'no reason why the existing cornices can not be replaced or renewed if timber ceilings cannot be afforded.' The Trust also noted references in the proposed works to the rendering of internal walls, and advised that the original mud rendering or soft burnt bricks in mud mortar was of historic interest and repairs should be carried out 'in the same manner'.⁶⁰

Photographs in the National Trust of Australia (W. A.) Collection show the place prior to the implementation of the above works, with the 'original chapel' (i. e. the organ room) prior to repairs, the damaged walls of this room 'about to be demolished', and the room with those walls removed.⁶¹

By 1991, a considerable number of trees had been planted at the arboretum, and the group were continuing to plan for future development.⁶² In August, *The West Australian* reported that Golden Valley Tree Park had been 'earmarked as a major tourist attraction at Balingup.' The Balingup Progress Association was 'excited about the recognition given to it by the WA Tourism Commission', and an Association member said the 'badly run-down' homestead 'may be turned into an information centre and tea rooms.' It was reported 'it is now difficult to see where the blacksmith and tennis court once were.'⁶³ In 2001, these sites are no longer visible, and further research will be necessary to determine their locations.

In 1991, most of the proposed works were carried out, including the replacement of ceilings with pine boards; and subsequently the National Trust of Australia (W. A.) recorded that the organ room had been removed and replaced in 'an unsympathetic manner.'⁶⁴ It was noted that the verandahs were still intact and the 'splendid iron work of distinctive style' on the front verandah remained extant.⁶⁵

[This period of works resulted in the removal of two piers to the northern facade of the organ room. It is also assumed that at this time the front verandah pitch was modified and raised to its current position.]⁶⁶

On 9 September 1992, the place was entered on a Interim basis on the Register of Heritage Places. On 24 January 1994, a Memorial was registered on the place under the Heritage of Western Australia Act 1990.⁶⁷

In August 1995, the place was included in the Shire of Donnybrook-Balingup Municipal Heritage Inventory.

56 B. C. Foster in National Trust of Australia (W. A.) File, 6 July 1990.

57 National Trust of Australia (W. A.) File.

58 National Trust of Australia (W. A.) File.

59 CEO National Trust of Australia (W. A.) to District Manager, CALM, in *ibid*, 7 March 1991.

60 *ibid*.

61 National Trust of Australia (W. A.) Photographic Collection.

62 National Trust of Australia (W. A.) File.

63 *The West Australian* 6 August 1991, p. 47.

64 National Trust of Australia (W. A.) File, 1991.

65 *ibid*.

66 J.Pidgeon, *Golden Valley Homestead Works Drawing Set and Cost Breakdown* c1990

I. Hocking, *Golden Valley Homestead Restoration Proposal* 1991

67 Certificate of Title CT 1672 Fol. 142.

The place has continued to be leased to tenants until the third week in May 2001, when the existing tenants were vacating the homestead. The organ room continues to be used as a meeting room for the Balingup Progress Association and its off shoot, the Golden Valley Tree Park Committee. The Association's proposal to use the homestead as an information centre has not yet come to fruition. However, the Committee is hopeful that future use of the place may provide opportunities for this use, especially with plans in progress for the re-alignment of the nearby section of the Bibbulmun Track to pass through the site. Future plans for the arboretum include surfacing of Padbury Road to provide improved access, and both proposals will bring increased numbers of visitors to the place.⁶⁸

In c.2004, the Old Padbury Road was surfaced with bitumen. The works involved the creation of a visitors parking bay that extends along the front facade of the Golden Valley Homestead. Around the same time a visitors information shelter was erected south-east of the Homestead.⁶⁹

As of October 2022, the Golden Valley Homestead is privately leased as a residential property by the Department of Biodiversity, Conservation and Attractions (DBCA). The Organ Room of the Homestead is still occasionally used for meetings by members of the Golden Valley Tree Park Advisory Committee.⁷⁰

The Bibbulman track currently runs through the site, passing north of the Homestead between the building and the creek.⁷¹

The Shire of Donneybrook-Balingup are upgrading the footpath that connects the Balingup townsite with the Golden Valley Tree Park. Works are due to commence late 2022/ early 2023.⁷²

68 Wendy Trowop. cit.

69 Aerial photographs, 1996-2020, Landgate Mapviewer, <https://map-viewer-plus.app.landgate.wa.gov.au/>

70 Moore, Natasha. 'Workers Cottage CMS'. Email correspondence with Stephen Carrick Architects, October 24, 2022.

71 *ibid.*

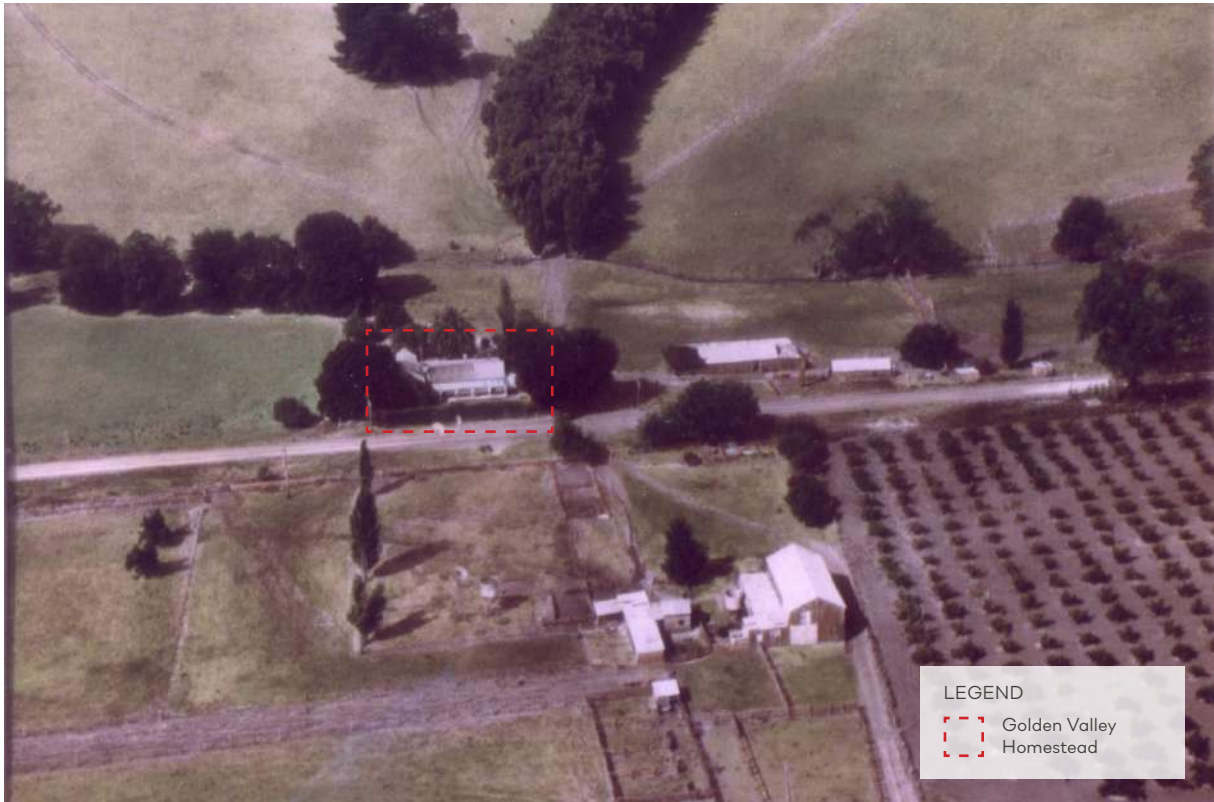
72 *ibid.*

2.2 HISTORICAL CHRONOLOGY

This following information is extracted from the above Documentary Evidence to provide a chronological summary of development of the Golden Valley Tree Park.

1859	Walter Padbury, first European settler in Balingup in Nelson Location.	1963	Ownership was transferred to John Tomlinson.
1880s-1895	Construction of Worker's Accommodation as the original Homestead. Construction of former Homestead, built for Charles Fox Roberts & occupied by his son, William C.F. Roberts with his family.	1977	Ownership transferred to the Conservator of Forests.
1898	Balingup was declared a township & opening of railway line between Donnybrook and Balingup as Government line.	1979	Golden Valley is classified by the National Trust.
1900s	Addition of the Organ Room to the Homestead.	1980	Golden Valley Tree park developed under CALM and community management.
1904	Ownership transferred to Mountray Frederick Richardson Bunbury.	1981	Renovation and maintenance works to the Homestead were undertaken.
1905	Balingup Progress Association was formed.	1990	Maintenance and proposed replacement works to the Homestead.
1906	Ownership transferred to Francis Craig.	1992	Golden Valley entered on an interim basis to the State Register of Heritage Places.
1920	Ownership transferred to Edmund Peter Blakeney.	1995	Inclusion of Homestead in the Shire of Donnybrook-Balingup Municipal Heritage Inventory.
1930s	The introduction of subterranean clover.	2001	Golden Valley permanently entered on the State Register of Heritage Places.
1945	Ownership transferred to David Bruce Goyder. New shed built opposite to homestead on southwest side of Padbury Road.	2022	Conservation Management Strategy completed for the Golden Valley Worker's Accommodation by Stephen Carrick Architects.
1950s	Pine Planting Program expanded by the Forests Department in the Southwest.		

2.3 HISTORICAL PHOTOGRAPHS



01 n.d Aerial photograph of Golden Valley Farm. Source: Andrew Thalgo



02 n.d. Golden Valley Homestead. Source: Australian Heritage Photographic Database
<https://www.environment.gov.au/cgi-bin/heritage/photodb/imagesearch.pl> (accessed 09 December 2022)

2.4 PHYSICAL DESCRIPTION

This section describes the subject site at the time of inspection by Stephen Carrick Architects. A broad description of the condition of the building is also provided.

The Homestead is set within a mature landscape. This Conservation Management Strategy focuses on the built form; however, the contribution of the adjacent and the surrounding landscape is acknowledged. It is assumed that the landscape will form part of the overall Tree Park management strategy.

This section is divided into the following subsections:

- 2.4.1 Context
- 2.4.2 Exterior
- 2.4.3 Interior
- 2.4.4 Condition

2.4.1 CONTEXT

The Golden Valley Homestead is located on Lot 11, 164 Old Padbury Road, Balingup. The building is situated within the Golden Valley Tree Park. The site features a sloping topography, from west to east surrounded by *'inter war tree plantings and subsequent arboretum plantings'*¹ and a shallow man made lake located towards the south east.

The Golden Valley Homestead is located towards the north of the Golden Valley Tree Park with the smaller steel clad Workers' Accommodation located approximately 60 metres to the south. The Homestead is a single storey rendered mud brick house with a corrugated steel roof and pit sawn jarrah timber throughout.²

The homestead is enclosed to the front by a Cupressus macrocarpa hedge (Monterey Cypress) with an arched entry and a number of mature trees. A central entry brick path laid in basket weave pattern leads from the front gate at the hedge to the front door of the homestead. A low split-rail wooden fence surrounds the rear of the property.

1 Heritage Council of Western Australia, Register of Heritage Places Assessment Documentation, P00707 Golden Valley

2 ibid.

A section of the Bibbulman Track crosses through the Golden Valley Tree Park and is the starting point of the Golden Valley Tree Park trail. There is a slip lane from Old Padbury Road in front of the Homestead and the information and interpretation shelter.

The surrounds feature a number of plantings including Fig, Bamboo, Mulberry and Poplar trees.

2.4.2 EXTERIOR

Golden Valley Homestead is a single storey rendered mud brick building with a corrugated steel gabled roof designed in the Victorian Georgian style of architecture.³

The homestead features two main sections; the main homestead and the later attached organ room. An additional bathroom extension is located within the lean-to rear verandah with a toilet and laundry extending off the east elevation.

The roof is clad with corrugated steel roof sheets which have been painted green. The external paint finish has areas of weathering and deterioration.

The organ room has an asymmetrical gable roof aligned to the homestead ridge line. The northern gable to the organ room is offset and clad with compressed fibre cement sheets.

The homestead has plain steel flashings, steel barge cappings, straight line profile steel gutters and rectangular profile downpipes, all painted green.

The roof features two chimneys; one servicing the organ room and the second for fireplaces located within the living and dining rooms. The chimney to the organ room is face brick with a rendered moulded capping. The second chimney is rendered and scored with an ashlar pattern and has a rendered moulded capping.

The external walls are cement rendered and are scored with an ashlar pattern. There is evidence of an early mud based render and lime based paint. This former exterior finish is to remnant to the brick stumps of the building and within the roof space.

3 Apperly, Richard, Robert Irving, & Peter Reynolds. 1989. *A Pictorial Guide to Identifying Australian Architecture: Styles and Terms from 1788 to the Present*. Angus & Robertson.

North Elevation

The north elevation contains the main facade of the organ room, a side verandah and the shed/ laundry space.

The organ room has a concrete splayed foundation exposed approximately 140mm above the ground. Projecting 500x500mm masonry piers are located at each corner. The rendered masonry wall contains three timber framed double hung windows with eight (8) paned sashes. The windows have projecting rendered sills with external cracking above each corner.

The organ room gable is offset from the top wall plate and clad with fibre cement sheets. These fibre cement sheets are connected with plastic cover strips.

Some plastic conduit has been used for running cabling to the building. There is also some evidence of pest nests to the underside of the gable.

The side verandah is located to the east of the organ room. The verandah has a concrete slab with visible cracking. The verandah is supported by a corner 120x120mm chamfered timber post. A water tank is located to the north corner of the side verandah collecting the roof water runoff. The tank sits on a limestone base.

The northern facade of the shed/ laundry space is clad with flat steel sheets, painted white.

West Elevation

There are two sections to this elevation, the front verandah and the projecting organ room.

The front verandah extends the length of the main homestead. Physical evidence appears to suggest that the roof pitch of the verandah has been modified and raised. The current verandah roof continues off the main roof line at a lesser pitch. The verandah is supported by a series of timber fascia beams atop six 120x120mm chamfered timber posts. The posts are set on concrete blocks connected by steel brackets. The verandah has a concrete slab painted green. Large cracks are evident. The verandah has decorative steel brackets and friezes that do not appear to be original fabric.

The elevation features two doors and three double hung windows. The doors and windows have cracking to the sills and window heads. Window (W3) has a large crack below the sill causing damage to the sill.

The west elevation of the organ room is rendered masonry with projecting corner piers. The elevation features two double hung windows with eight (8) paned sashes. There is cracking above each window. The rendered wall has a build up of moisture and mould to the base where the wall is adjacent to the front garden. The gutters are in poor condition and appear to be full with debris causing water damage to the fascias and render below.

South Elevation:

The south elevation is a rendered masonry gable end with an eastern lean-to extending above the kitchen and rear verandah. The elevation is partially obscured by vegetation. A concrete splayed foundation is visible at the base of the elevation. There is minor cracking to the base of the south-west corner and at the wall plate level. There is significant cracking at the junction of gable end and the rear lean-to. Additional cracking surrounds the kitchen casement window.

The elevation features steel air grilles, gas and hot water heater services as well as other PVC service pipes. An access door to the roof space is located at the apex of the homestead's gable.

East Elevation:

The outdoor laundry and WC has 160mm wide painted timber weatherboard. The weatherboards have extensive termite damage.

The rear verandah extends off the lean-to roof pitch. The verandah is supported by five 120x120mm timber posts. The low ceiling is clad with compressed fibre cement sheets. The verandah has a 390mm thick concrete slab base with concrete stairs to both the northern and southern ends. The slab is painted green.

Landscaping

In addition to the front hedge (*Cupressus macrocarpa* or Monterey Cypress), the yard of the homestead features a number of large mature trees and plantings. A large tree is located to the north west corner of the homestead. The tree's canopy overhangs the organ room roof. The front garden has plantings to either side of the central path that include roses, agapanthus and lavender.

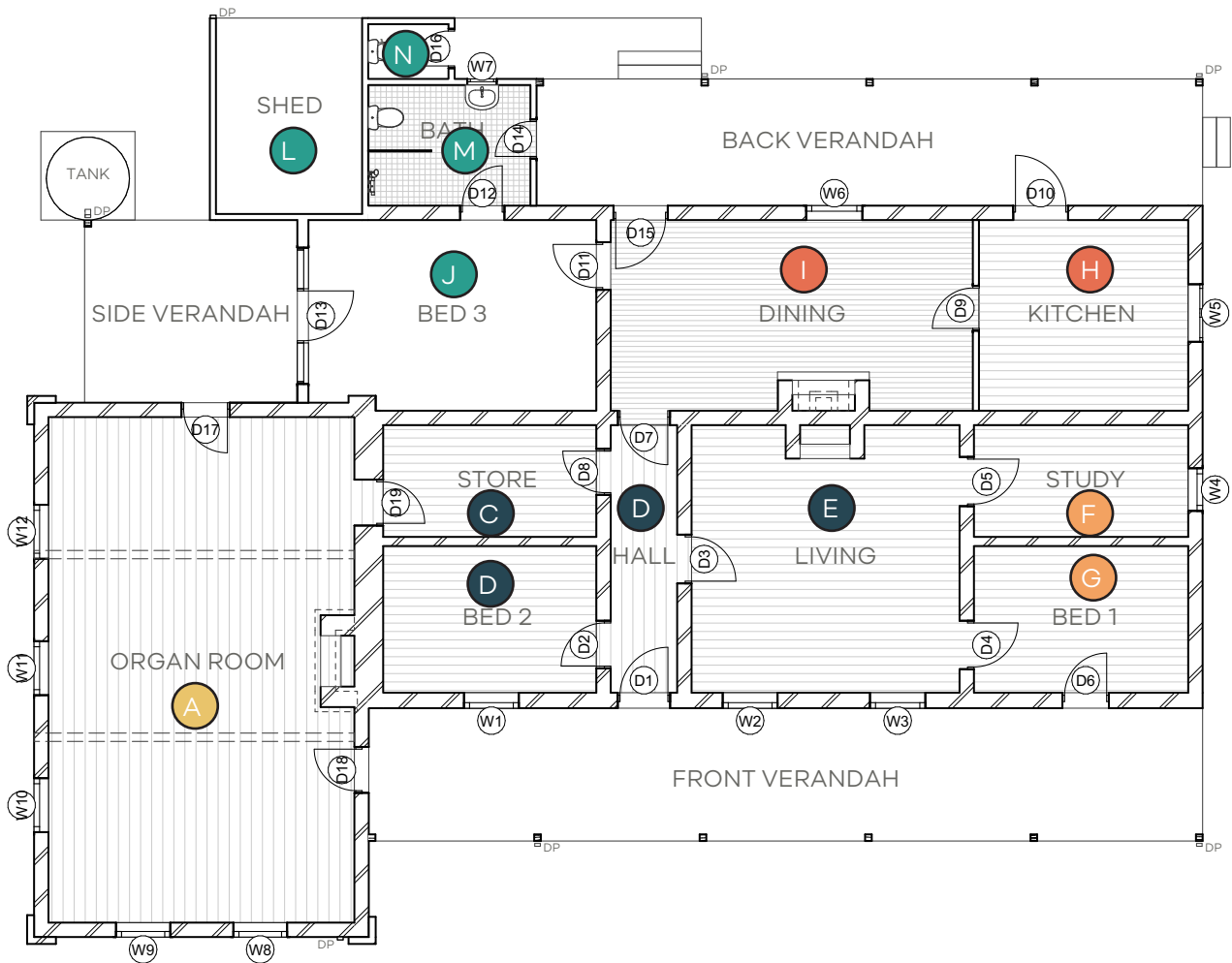
The south elevation has large garden with plantings including Agave species and Pride of Madeira.

A mature wisteria is growing against the east verandah. The back yard features a large mature palm tree with a number of additional mature trees planted among the sloped landscape.

2.4.3 INTERIOR

The following text in italics has been sourced from the 2001 HCWA Assessment Documentation, the interior to the homestead remains unchanged:

Physical evidence indicates that the homestead developed in stages, with a central door at both sides of the house connected by a corridor (Room D). There are two rooms to the north-west of the corridor (Rooms B and C) and one to the south-east (Room E) that appear earlier than the other rooms. There are two further rooms to the south-east (Rooms F and G) which are very similar to the rest of the house, but not identical. Room A is a later addition and is known as the organ room, which is used by local groups as a meeting room. Rooms I and H (Kitchen) appear to have been a single room enclosed by masonry walls, and the division between them is a pine clad partition. Room J would appear to be a further addition, with rooms L, M, and N providing a laundry, bathroom and outside toilet respectively. Rooms A through to I have timber floors with boards ranging from 4" (100mm) to 6" (150mm) wide, with moulded timber skirtings and plastered or rendered walls. All original ceilings have been removed and replaced with tongue and grooved 'v' jointed pine boarding. Room J is similar to the other rooms but the timber floors have been removed and replaced with concrete. There is a simple fireplace and surround in Room E, a very large fireplace in Room I, and a fireplace in Room A with an elaborate surround that may have been brought from elsewhere. The bathroom has plasterboard walls and ceilings, part wall and full floor tiling. All of the fittings appear to have been installed in the last quarter of the twentieth century. The laundry has a concrete floor and concrete laundry troughs. The organ room has deep pine clad roof beams, a pine lined soffit. The room retains its original plan form, and windows, but is otherwise quite different from the photographs that are held by the National Trust and taken prior the 1990s changes. The apse to the organ room has been demolished and the area that is once occupied is now a roofed open sided verandah.



2.4.4 DEVELOPMENT OF HOMESTEAD

(Based on 2001 HCWA Assessment Documentation)

- Stage 1
- Stage 2
- Stage 3
- Stage 4
- Stage 5

2.4.5 CONDITION

The Golden Valley Homestead is considered to be in good condition. The overall exterior appears to be good however a number of elements are in fair condition. Further structural assessment will assist in understanding the condition of the substructure.

The following information includes a breakdown of each element:

Exterior:

- **Roof Sheets:** The corrugated long steel roof sheets are generally in good condition with some weathering and minor deterioration. The green paint is fading exposing the steel finish below. The ridge caps appear to be in good condition. Signs of weathering and deterioration is evident to a number of flashings.
- **Rainwater goods:** The gutters and downpipes appear in poor condition. The gutters currently contain a lot of debris causing poor drainage and deterioration due to build up of water and leaves. The downpipes are rusty and inadequately draining water from the roof.
- **Fascia:** The timber fascias are in poor condition the worst of which can be seen along the south facade lean-to, above the toilet and to the western facade of the organ room. The damage and deterioration is largely due to the poor condition of the gutters.
- **Chimney:** The building contains two chimneys. The chimney to the Organ Room is face brick with rendered capping. The brick work appears in good condition with some deterioration to mortar joints. There is evidence of patch work to the chimney base.

The second chimney to the central core, has a rendered finish and appears in good condition. There is some evidence of peeling to the render however no major areas of visual damage.

- **Brick and Render Walls:** The brick walls feature a thick layer of hard render with an ashlar scored pattern. The render is chipped in a number of areas with consistent cracking above most doors and windows. The render to the southern facade is peeling away due to direct weather exposure.

- The condition of the brickwork is unknown due to the presence of the hard render. Garden beds planted along the perimeter of the house have caused some moisture to build up at the base of the external walls.
- **Timber cladding:** The attached water closet is clad with timber weatherboards to the east side. The timber is in poor condition with damaged boards and missing sections.
- **Doors:** The external doors are generally in good condition; however, there is movement evident with some doors being difficult to operate.
- **Windows:** Many of the windows appear structurally sound however some are inoperable due to the distortion and cracking of many of the walls.
- **Verandahs:** The building features three verandahs. The front verandah is in fair condition. The concrete slab has significant cracking. The timber posts appear in good condition. The steel connections to the base are rusty. The timber support beams are in poor condition with deteriorated paintwork and poor construction. The rear and side verandahs appear in good condition with some cracking to the concrete slabs.
- **Hedge (Cupressus macrocarpa or Monterey Cypress):** The front hedge appears in fair condition with areas of overgrowth, potential disease damage and foliage loss.

Interior:

- **Floor:** The timber floors are in good condition. There is evidence of new timber boards in some sections of the house suggesting that replacement has occurred. The hallway floorboards are in fair condition with sections that are no longer secured to the structure. The sub floor has soil approximately 250mm below the timber floorboards.
- **Skirting:** The skirting throughout the homestead is in good condition.
- **Walls:** The internal walls appear in sound condition. There is evidence of previous repairs to cracking specifically in the Study. There is cracking above most door and window frames.

- Doors: The internal doors are predominately in good condition. Door frames to D3 and D8 have significant termite damage.
- Ceiling: The timber ceilings are not original and were replaced in the 1990s. The current pine ceilings appear in good condition.
- Cornices: The timber cornices appear to have been replaced at the same time as the ceilings and are in good condition.
- Fireplaces: The living room fireplace has been replaced internally with a modern fireplace. The dining room fireplace is currently not functioning. There is evidence of previous smoke and fire damage. Documentary evidence notes that there is no fire separation to allow safe use.

There is extensive cracking in the homestead, most likely due to the reactive soils upon which it is founded.

3.1 ELEMENTS OF SIGNIFICANCE

The grading of significance is considered in terms of a three tier grading system as outlined by the Heritage Council of Western Australia. The zones and elements of the Golden Valley Homestead have been graded into levels of significance using the terms and definitions below:

Primary Significance:

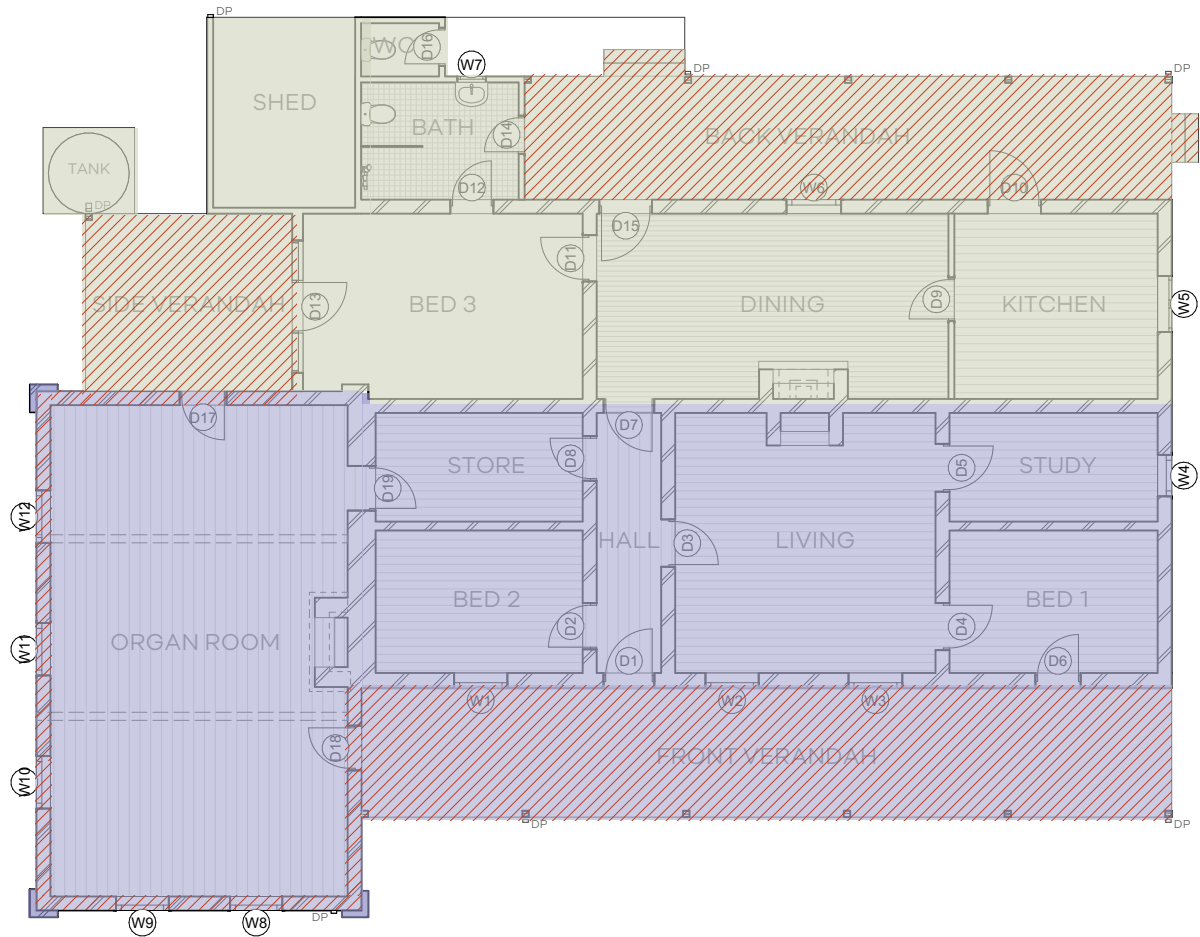
- Room layout to main building
- Organ room addition
- Chimneys
- Timber floorboards (ie, hallway, living and bedrooms)
- Windows and doors (some appear to have been replaced)

Secondary Significance:

- Bathroom, toilet and laundry addition
- Kitchen partition wall
- Dining room floorboards (previously replaced)
- Front organ room windows (W8, W9 not original)
- Organ room northern wall (rebuilt in 1990s)

Intrusive:

- Cement based exterior render
- Concrete verandahs
- Organ Room roof pitch
- Planting against perimeter walls



LEVELS OF SIGNIFICANCE

- Primary Significance**
 Building fabric of primary significance. Conserve in accordance with accepted conservation practice.

- Secondary Significance**
 Building fabric of secondary significance. Conserve in accordance with accepted conservation practice.

- Intrusive**
 Intrusive building fabric. Should be removed in accordance with this Conservation Management Strategy.

4.0 PREVIOUS ALTERATIONS, CONSERVATION CAMPAIGNS AND REPORTS

The Golden Valley Homestead has undergone a number of alterations and additions throughout its history.

It is assumed that the original c1880s building footprint included the living room, hallway and two bedrooms (present day Bed 2 and Store). The 2001 HCWA Documentary and Physical Evidence Assessment Documentation notes that the rooms to the south of the living space are potentially later additions (present day Bed 1 and Study). It is assumed that the front verandah (although altered) has always formed part of the building and that the current dining and kitchen once formed a rear verandah.

The organ room is recorded as being constructed c1900. The current store room connects to the organ room and provided internal access to the room from the homestead.

Alterations occurred to the building from the c1920s until c1960s. It appears these building alterations included:

- Introducing concrete slabs to the verandahs.
- Cement rendering the building's exterior and interior walls. The exterior walls continued the ashlar pattern.
- Adapting the dining and kitchen spaces.
- Extending the west of the building to include the rear bedroom (Bed 3), bathroom, outdoor toilet and laundry.

It is unknown when the roof form changed to the organ room but it is assumed it occurred some time between the c1960s and c1981.

The homestead was recorded as unoccupied during 1979. The National Trust assessment drew attention to the organ room being 'in a dangerous state'.¹ The organ room roof may have been reconstructed around this time.

¹ *ibid.*

Note: the Assessment reported that the organ had been removed to the North Perth Congregational Church; and a note was added that the organ's whereabouts were unknown since the formation of the Uniting Church. On the other hand, Frost (1979, p. 53) reported that according information given to him, the organ was in St. Mary's Church of England in West Perth in 1979.

In 1981, it was reported that the homestead "...being renovated to maintain historical and architectural values."² Details of the work undertaken during this period have not been ascertained.

Works During the early 1990s

During the early 1990s there were two different Heritage Consultants providing advice on the Homestead.

John Pidgeon, Architect, provided the initial advice between 1990-1991 and Ian Hocking provided advice from 1991.

John Pidgeon appears to have been engaged by the Department of Conservation and Land Management (CALM). His work reported on background information and provided preliminary documentation on conservation works valued at the time to be \$41,500.00. Pidgeon reported on the main issues as being:

- Joinery, mainly windows, needing replacing.
- The extent of ceilings which need replacing.
- Patching of cracks and painting.
- Upgrades to the kitchen, bathroom and toilet facilities.
- Reinstatement of the iron lacework to the front verandah.

Pidgeon did note the "subsidence at the south west corner of the central core" of the building.

Ian Hocking's 1991 report was addressed to the Golden Valley Tree Farm Homestead Committee. Hocking's report outlined that previous work undertaken and/or previous documented work included "a number of the existing elements of the homestead [that] are inappropriate replacement items for the original."

² Christensen, P., Pentony, K. and Schmidt, W. Special Focus No. 2 *The Blackwood: A Valley in Transition* (B. J. Beggs, Conservator of Forests, Forests Department of Western Australia, Perth, W. A., 1981) p. 26.

Hocking provided more conservation works for the Committee to undertake overtime. The short term priority was to make the building habitable, the long term priorities focused on conservation. Hocking identified that the building was structurally sound however commented that there were some inherent weaknesses to the building including the east gable of the loft (Identified by SCA as the south gable) and the north and west walls of the organ room.

While some of these works were undertaken, it appears that majority of these works were not adopted. Works identified by SCA as being visibly completed and evidently undertaken in the 1990s included:

- The underpinning of the organ room.
- The replacement of the single window to the south wall (identified by SCA as the west wall) of the organ room with two smaller double hung windows.

Works reported by Hocking but evidently not completed included the following items:

- Replacement of the roof sheeting and downpipes with galvanised materials in the appropriate profiles.
- Introducing a breathing strip to the concrete verandahs or replacing the verandahs with timber.
- Removal of planting from the building's perimeter.
- Repairing walls with a soft mud and lime based mix.
- Applying 'tell-tale' crack monitors to all wall cracks

While the combined conservation approaches provided in John Pidgeon's and Ian Hocking's reports are in many ways still relevant, it is still unclear how much of the documented works were undertaken and why some of the work was not completed. With this information unclear and considering that these reports are over 30 years' old, it is seen as critical to reassess the conservation work items for the building. This document is an up to date strategy how to best tackle the conservation requirements for the building.

As the homestead has developed and changed over its lifespan, it is important to understand and acknowledge the key eras of development. All of these eras contribute to telling the history of the place. The original c1880 and c1900 fabric is considered of primary significance. Subsequent eras are of secondary significance. Built fabric reflective of particular eras are only considered intrusive and are recommended for removal if the built fabric is harmful or not sympathetic to other fabric.

4.1 RECOMMENDED CONSERVATION WORKS SCHEDULE

The following works schedule should be undertaken to ensure the building fabric is maintained and conserved.

The works are prioritised in the following sub-sections:

- 4.1.1 Immediate Action
- 4.1.2 Short Term Action
- 4.1.3 Medium Term Action
- 4.1.4 Long Term Action

Following consultation with a structural engineer, the priorities of the conservation works may alter or be added to the below scope.

4.1.1 IMMEDIATE ACTION

Definition: *Works required to prevent serious disruption of activities and/or may incur higher costs if not addressed within 1 year.*

Structural

- Implement immediate actions recommended by the Structural Engineer.

Testing

- Test the compressed fibre cement sheeting for contents of asbestos using a licensed asbestos removalist contractor and analysis team. Replace all damaged compressed fibre cement once material composition is known.

Temporary Repairs

- Install a temporary gutter and downpipe to the north west corner of the organ room. Ensure water is directed away from the building.
- Repair windows in the organ room. Repair to all non-operable doors including outdoor WC. Refit existing doors and replace hardware to windows (where faulty) using appropriate hardware styles.

4.1.2 SHORT TERM ACTION

Definition: *Works that need to be addressed between 1-2 years to prevent serious deterioration.*

Weathertightness

- Replacement of existing roof sheeting with new galvanized corrugated roof sheeting (long sheets). Replacement of all associated cappings and flashings to match the galvanized sheeting.
- Replacement of gutters and downpipes with galvanized ogee profile gutters and circular down pipes. Currently, the directly connected downpipes to stormwater do not allow for easy inspection. New downpipes should be installed to have an elbow and stormwater pit located under elbow. Stormwater drainage channels are to be directed (2-3m) away from the house and connected to soakwells.

Ventilation

- Air drains are to be created around the building's perimeter. This is to increase ventilation to the exterior walls and reduce rising damp. Trenches for the air drain are to be cut to the building's footings. Slotted agricultural drain is to be laid in the trenches and connected to the stormwater systems. Bluemetal is to be used to fill the drain on top of the agricultural drain.
- The building's existing concrete verandahs are limiting ventilation. The concrete should either be removed and replaced with timber or a trench is to be cut into the perimeter of the concrete to create an air drain for ventilation.

Material Testing

- Remove and test a section of render on the south gable end. The current cement render is presumably locking in moisture to the brickwork. The original brickwork is potentially fretting and fragile. The render should be tested in sections to assess the condition, composition and degree of deterioration. Testing is required to assess whether removing the cement render will destroy the face of the brickwork.
- Render removal should also be tested internally to assess the degree of deterioration to the brickwork. Testing is required to assess whether removing the cement render will destroy the face of the brickwork.

Material Repairs

- All areas of major cracking are to be stitched as per Structural Engineer's advice. Rectified areas are to be repaired/stitched and patched with a lime based render. The patch is to be ashlar lined and painted to match the existing.
- Local repairs to floorboards where required.
- Repair of external weatherboard to outdoor WC. Repair areas of damaged fibre cement sheets to bathroom addition.
- Clean organic matter (moss and lichen) off exterior walls.

Pests and evidence of pests are to be removed.

Garden

- Vegetation is to be removed from the perimeter of the building. Irrigation and vegetation in general promotes dampness against the base of the walls.
- The existing hedge (Cupressus macrocarpa or Monterey Cypress) has disease damage and is difficult for DBCA to maintain. The hedge contributes to the setting and the cultural heritage significance of the place. Replacing the hedge with a low-maintenance species is recommended. It is understood that the current hedge currently limits sunlight from entering the front garden. By removing this hedge, the micro-climate of the front garden is likely to change. A lower hedge species may assist to increase sunlight to the front garden and reduce dampness.

4.1.3 MEDIUM TERM ACTION

Definition: *Works likely to require rectification within 3 years.*

Interior repairs and upgrades

- Repair to cracking above doorways and windows.
- Remaining repair work to all doors and windows (refer to building condition report).
- Repainting of the interior following repairs to internal cracking.
- Install hand basin to outside WC to allow ongoing use of facility by tenants. The ongoing use of heritage places is considered a key to ensure ongoing care and maintenance for a place.
- Upgrade kitchen facilities to allow ongoing use of building by tenant.

Verandah Works

- Remove the concrete verandah slab to the west elevation. Replace with a timber verandah to increase ventilation to the building.
- Repair timber posts to the front verandah and use a steel stirrup detail to the base of the columns.
- Paint all timber work to building including posts, verandah beams, fascias. The paint colour scheme to be further researched with paint scrapes.

Landscaping

- Further archaeological landscape investigation should be undertaken to gain understanding of the site's former pathway and garden bed locations.

4.1.4 LONG TERM ACTION

Definition: *Works that can be safely and economically deferred beyond 3 years.*

Reinstatement of details

- Remove concrete verandahs to the north and east of the building. Install timber verandahs to allow ventilation to the building.
- If render testing is successful, remove cement based render from the masonry (exterior and interior) and apply soft lime based render mix.
- The authenticity of the green and white colour scheme is unknown. Undertake paint scrapes to confirm if previous colour schemes are discernible. Repaint building with a lime based (breathable) paint selected in keeping with colour scheme and on going use.
- Rectify chimney to kitchen. Fire separation is understood to be missing and should be introduced.
- Return the original gable roof (east-west orientation and pitch) to the organ roof.
- The existing ceilings in the Homestead were replaced during the c1990s. Further investigation is required to understand the original ceiling materials and details. If further information is uncovered then reinstating original ceiling detailing is recommended.

Landscaping and Interpretation

- A landscape plan should be prepared for the immediate fenced site. A landscape Architect should be engaged to provide advice on the future management of plantings and explore opportunities for further landscaping and interpretation.
- Ensure the Homestead is integrated into the overall Interpretation Plan for the Golden Valley Tree Park. The interpretation information should explain the original and former uses of the place as well as the cultural heritage values of the place.
- Introduce an external lighting scheme to highlight the entrance, the front verandah of the building and the site.

4.2 RECOMMENDED MAINTENANCE WORKS SCHEDULE

It is important that maintenance be carried out on a regular basis, and that any remedial action required be acted upon within an appropriate time frame.

When implemented, the following schedule of maintenance works will ensure the upkeep of the place is programmed.

Three Monthly

- Ensure that all maintenance is recorded and referenced to the specific work undertaken, date of work and the specific location of the work. This should preferably be completed and stored electronically.
- Check security; repair door locks as required.
- Check for evidence of animal or pest activity and treat as required.
- Ensure that the interior remains relatively clean by having a regular cleaning program.

Annually

- Undertake termite and other pest treatment. Record centrally on a place file.
- Check condition of walls and roofs; repair as required.
- Check all drainage; repair as required.
- Monitor timber floors and undertake repairs as required.

Long Term

- Review this conservation management strategy every five years or after a major program of works.
- Consider a structural assessment every ten years.



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APPENDIX A-




**BUILDING CONDITION
ASSESSMENT REPORT**



Building Condition Assessment Report




Place Name	Golden Valley Homestead
Place Number	00707
Address	Lot 11, 164 Old Padbury Road, Balingup
Date of Inspection	11 November, 2022




Condition Rating Codes		
RATING	STATUS	DEFINITION OF RATING
A	Excellent	<ul style="list-style-type: none"> No defects As new condition and appearance
B	Good	<ul style="list-style-type: none"> Minor deterioration Superficial wear and tear Major maintenance not required
C	Fair	<ul style="list-style-type: none"> Damaged Worn finishes require maintenance Services are functional but need attention
D	Poor	<ul style="list-style-type: none"> Failed but retrievable Badly deteriorated Potential structural problems
E	Very Poor	<ul style="list-style-type: none"> Failed and not retrievable Not operational Unfit for occupancy or normal use




Priority Ranking Scale		
RATING	STATUS	DEFINITION OF RATING
1	Immediate Action	Works required to prevent serious disruption of activities and/or may incur higher costs if not addressed within 1 year.
2	Short Term	Works that need to be addressed between 1-2 years to prevent serious deterioration.
3	Medium Term	Works likely to require rectification within 3 years.
4	Long Term	Works that can be safely and economically deferred beyond 3 years.



ITEM/ LOCATION	DESCRIPTION & DEFECTS	CONDITION	PROPOSED WORKS	PRIORITY	PHOTOGRAPH
EXTERNALS					
LANDSCAPING					
HEDGE (Cupressus macrocarpa or Monterey Cypress)	<ul style="list-style-type: none"> Large hedge to front perimeter approximately 4m high. Areas of overgrowth, potential disease damage and foliage loss. DBCA has advised that maintenance of the hedge is an issue and is seeking replacement options. 	C	<ul style="list-style-type: none"> Removal of the current hedge and planting of a low-maintenance hedge. Low-maintenance hedge species to be recommended by the DBCA. 	3	
GENERAL PLANTING	<ul style="list-style-type: none"> Garden beds positioned directly against Homestead exterior walls, causing moist environment and lack of drainage to base of exterior walls. Undertake archaeological landscape work to gain understanding on locations of former paths and garden beds. 	C	<ul style="list-style-type: none"> Remove selected areas of gardens. Install perimeter break around exterior walls which could include blue metal or permeable paving to limit weeds. 	2-3	
PATHWAYS	<ul style="list-style-type: none"> Convict bricks from Old Bridgetown Gaol installed c2010. 	B	<ul style="list-style-type: none"> Remove weeds and overgrowth between pavers. Paver history is considered disconnected from the significance of the Homestead, however, a record of these pavers ought to be maintained. 	4	


ITEM/ LOCATION	DESCRIPTION & DEFECTS	CONDITION	PROPOSED WORKS	PRIORITY	PHOTOGRAPH
FENCING	<ul style="list-style-type: none"> • Timber slab and post fence that encloses the rear of the Homestead property. • Some deterioration to timber slabs. 	B	<ul style="list-style-type: none"> • Repair damaged timber elements where necessary. • Apply oil mix to conserve timber fencing. 	4	
ROOF					
ROOF SHEETING	<ul style="list-style-type: none"> • Existing corrugated steel long roof sheets painted green. • Roof sheets appear generally in fair condition with some deterioration of paint. • Verbal information suggests some areas of internal water ingress. 	C	<ul style="list-style-type: none"> • The existing roof sheets should be replaced with galvanised corrugated steel roof suffi sheets. Current green finish is considered at odds with best practice. Current roof sheeting is deteriorated with evidence of damp. 	1-2	



ITEM/ LOCATION	DESCRIPTION & DEFECTS	CONDITION	PROPOSED WORKS	PRIORITY	PHOTOGRAPH
GUTTERS AND DOWNPIPES	<ul style="list-style-type: none"> Green colorbond gutters. Rectangular profile downpipes painted green. Downpipes in poor condition. 	D	<ul style="list-style-type: none"> New round profile galvanised downpipes to be installed. New galvanised gutters in ogee profile. Storm water on all sides of building to be reviewed and relocated away from walls. Regular cleaning and maintenance schedule to be implemented. 	1	
FLASHINGS AND CAPPINGS	<ul style="list-style-type: none"> Cappings and flashings painted green. Flashings to dining room chimney in poor condition. 	C	<ul style="list-style-type: none"> Replace all roof cappings, apron flashing and over flashings at same time as roof sheet replacement. New products to be galvanised. 	2	
CHIMNEY (1)	<ul style="list-style-type: none"> Face brick chimney with rendered moulding. Some repair work to base of chimney. 	B	<ul style="list-style-type: none"> Remove deteriorated pointing and repoint chimney brickwork. Clean and repaint rendered moulding. Works to be completed in accordance with structural assessment. 	3	



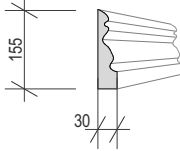
ITEM/ LOCATION	DESCRIPTION & DEFECTS	CONDITION	PROPOSED WORKS	PRIORITY	PHOTOGRAPH
CHIMNEY (2)	<ul style="list-style-type: none"> Rendered chimney with scored ashlar pattern and rendered moulding. The render appears to be peeling with a build up of organic matter. 	B	<ul style="list-style-type: none"> New flashings to be installed around base. Inspect render material. Clean and repair render. Works to be completed in accordance with structural assessment. 	3	
EXTERNAL WALLS					
NORTH ELEVATION (Organ Room)	<ul style="list-style-type: none"> Rendered masonry walls with scored ashlar pattern. Projecting pillars to each corner. Fibre cement sheeting to gable end. Organic matter build up to external render. Cracks to walls above windows. 	C-D	<ul style="list-style-type: none"> Material assessment to be undertaken to determine render composition. Investigate removal of external render. Works to be completed in accordance with structural assessment. Removal of fibre cement and returning gable to organ room roof considered long term priority. 	1	
NORTHERN FOUNDATION	<ul style="list-style-type: none"> Concrete strip foundation visible above ground. Evidence of wall subsidence. 	D	<ul style="list-style-type: none"> Clean organic matter, moss and moisture build up. Remove planting from against perimeter. Works to be completed in association with external walls. Works to be completed in accordance with structural assessment. 	1	

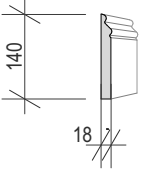
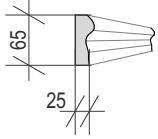

ITEM/ LOCATION	DESCRIPTION & DEFECTS	CONDITION	PROPOSED WORKS	PRIORITY	PHOTOGRAPH
EAST ELEVATION (Verandah)	<ul style="list-style-type: none"> Rendered masonry walls with scored ashlar pattern. Cracks to walls above windows and doors. 	C	<ul style="list-style-type: none"> Material assessment to be undertaken to determine render composition. Investigate removal of external render. Works to be completed in accordance with structural assessment. 	2	
EAST ELEVATION (Bathroom and WC)	<ul style="list-style-type: none"> Bathroom walls are compressed fibre cement sheets painted white. Some damage and deterioration to exposed sheets. 	D	<ul style="list-style-type: none"> Deteriorated weatherboards to WC to be removed and replaced. Investigate material composition of CFC sheets (remove and replace if asbestos). Repair and repaint fibre cement sheeting to Bathroom. 	2	
SOUTH ELEVATION	<ul style="list-style-type: none"> Rendered masonry walls with scored ashlar pattern. Wall exposed to weathering. Large areas of render are coming away from wall with large cracks. Evidence of previous repairs. 	D	<ul style="list-style-type: none"> Material assessment to be undertaken to determine render composition. Investigate removal of external render. Works to be completed in accordance with structural assessment. 	1	




ITEM/ LOCATION	DESCRIPTION & DEFECTS	CONDITION	PROPOSED WORKS	PRIORITY	PHOTOGRAPH
WEST ELEVATION	<ul style="list-style-type: none"> Rendered masonry walls with scored ashlar pattern. Cracks to walls above windows and doors. Damage to rendered masonry window sills. 	C-D	<ul style="list-style-type: none"> Material assessment to be undertaken to determine render composition. Investigate removal of external render. Works to be completed in accordance with structural assessment. 	1	
NORTH VERANDAH (COLUMNS,SLAB, CEILING)	<ul style="list-style-type: none"> 120 x 120mm square timber supporting posts. Cracking evident to concrete verandah with some peeling of paint. Roof sheeting exposed underside verandah. Electrical wiring exposed and unresolved. 	C	<ul style="list-style-type: none"> Qualified Electrician to be engaged to resolve wiring issues. Concrete verandah considered intrusive and is recommended for replacement in the long term with a timber verandah. 	1	




ITEM/ LOCATION	DESCRIPTION & DEFECTS	CONDITION	PROPOSED WORKS	PRIORITY	PHOTOGRAPH
EAST VERANDAH (COLUMNS, SLAB CEILING)	<ul style="list-style-type: none"> • 120x120mm square timber posts supporting verandah. • Evidence of cracking and peeling paint to the concrete verandah. • Verandah lined with compressed fibre cement boards. • Concrete steps south of the verandah. • Stairs in fair condition, some organic matter evident. 	B-C	<ul style="list-style-type: none"> • Concrete verandah considered intrusive and is recommended for replacement in the long term with a timber verandah. • Investigate material composition of CFC sheets (remove and replace if asbestos). • Follow any recommendations made by the structural engineer regarding the verandah. 	4	




ITEM/ LOCATION	DESCRIPTION & DEFECTS	CONDITION	PROPOSED WORKS	PRIORITY	PHOTOGRAPH
WEST VERANDAH (COLUMNS,SLAB, CEILING)	<ul style="list-style-type: none"> • 120 x 120mm timber columns on concrete plinths. • Plinths potentially previous repair to address damp to base of columns. • Evidence of previous line and height of verandah against the exterior wall. • Underside of the roof sheeting exposed at verandah. • Verandah purlins and rafters unpainted. • Cast iron bracket detailing with large screw fixings to either side of columns. • Paint to columns and verandah edge beam weathered. • Concrete to verandah cracking and paint deteriorated. 	C	<ul style="list-style-type: none"> • Concrete verandah considered intrusive and is recommended for replacement in the long term with a timber verandah. • Painting of the columns and verandah beam. • Refer to structural engineer's recommendation for any column repairs. 	3	
BUILDING STRUCTURE & INTERIOR					
GENERAL INTERIOR					
SUB-FLOOR	<ul style="list-style-type: none"> • 200mm deep joists on 200 x 200m plank ends bedded in the ground. • Brick piers with mud render. • Some deterioration evident with bouncing floorboards. 	B	<ul style="list-style-type: none"> • Minor repairs required where there is variation in the floor levels. • Local repair and restumping may be required. 	3	




ITEM/ LOCATION	DESCRIPTION & DEFECTS	CONDITION	PROPOSED WORKS	PRIORITY	PHOTOGRAPH
FLOOR HALL, LIVING AND KITCHEN	<ul style="list-style-type: none"> 160 x 25mm jarrah boards, pit sawn and butt joined. 	B	<ul style="list-style-type: none"> Minor repairs required where there is variation in the floor levels. Local restumping required. 	3	
FLOOR DINING	<ul style="list-style-type: none"> 85 x 25mm tongue and groove floor boards to dining. Floor replaced in 1990s. 	B	<ul style="list-style-type: none"> Minor repairs required where there is variation in the floor. Local restumping required. 	3	
SKIRTING TYPE 1	<ul style="list-style-type: none"> Painted timber skirting. 	B	<ul style="list-style-type: none"> No works required. 	4	




ITEM/ LOCATION	DESCRIPTION & DEFECTS	CONDITION	PROPOSED WORKS	PRIORITY	PHOTOGRAPH
SKIRTING TYPE 2	<ul style="list-style-type: none"> Painted timber skirting. 	B	<ul style="list-style-type: none"> No works required. 	4	
PICTURE RAIL	<ul style="list-style-type: none"> Painted timber picture rail. 	B	<ul style="list-style-type: none"> No works required. 	4	
CEILINGS	<ul style="list-style-type: none"> 1990s - Pine tongue and groove with moulding at edge. 	B	<ul style="list-style-type: none"> If further information is uncovered on the original detail of the ceilings then this detailing should be reinstated. This is considered a long term conservation aim. 	4	




ITEM/ LOCATION	DEFECT DESCRIPTION	CONDITION	PROPOSED WORKS	PRIORITY	PHOTOGRAPH
D1 Front Entry	<ul style="list-style-type: none"> 6 panel timber door with top four panels glazed. New screen to door (Suntec). New lock/ hardware introduced. Messy paintwork. Dropped door. 	B	<ul style="list-style-type: none"> Dropped door to be further investigated. Potentially adjustment of hinges required. Poorly finished paintwork to be rectified. 	2	
D2 Bed 2	<ul style="list-style-type: none"> 4 panel timber door. New hardware introduced. Stray paintwork. Prior repairs evident. Cracking above doorway. Door doesn't shut properly. 	B	<ul style="list-style-type: none"> Cracking above doorway to be rectified. Door frame to be checked to ensure the door is able to close. 	2	
D3 Living	<ul style="list-style-type: none"> 4 panel timber door. Termite damage to frame. New hardware introduced. Cracks above doorway. Messy paintwork. Unable to properly shut door. 	B	<ul style="list-style-type: none"> Repair termite damage to timber frame. Cracking above doorway to be rectified. Door frame to be checked to ensure the door is able to close. Paintwork to be rectified. 	2	




ITEM/ LOCATION	DEFECT DESCRIPTION	CONDITION	PROPOSED WORKS	PRIORITY	PHOTOGRAPH
D4 Bed 1	<ul style="list-style-type: none"> 4 panel timber door. Good condition New hardware introduced Cracking above door. Height of door with panes appears reduced 	B	<ul style="list-style-type: none"> Cracking above doorway to be rectified 	2	
D5 Study	<ul style="list-style-type: none"> 4 panel timber door. New hardware introduced. Height of door with panes appears reduced. Door not fitting frame with some movement to frame evident. 	B	<ul style="list-style-type: none"> Door panel and frame to be adjusted to allow door to close. 	2	
D6 Bed 1	<ul style="list-style-type: none"> New screen to door. Door works but sticky to open. Some movement to frame evident. 	B	<ul style="list-style-type: none"> Door panel and frame to be adjusted to allow door to be easily operable. 	2	




ITEM/ LOCATION	DEFECT DESCRIPTION	CONDITION	PROPOSED WORKS	PRIORITY	PHOTOGRAPH
D7 Hallway	<ul style="list-style-type: none"> 6 panel timber door with top two panels glazed. Good condition. 	B	<ul style="list-style-type: none"> No works required. 	4	
D8 Store/ Hall	<ul style="list-style-type: none"> 4 panel timber door. Termite damage to frame. Door leaf appears to be in good condition. Locked shut. 	B	<ul style="list-style-type: none"> Repair termite damage to timber frame. 	4	
D9 Kitchen	<ul style="list-style-type: none"> Plain hollow core door. New door and hardware. 	B	<ul style="list-style-type: none"> No works required. 	4	




ITEM/ LOCATION	DEFECT DESCRIPTION	CONDITION	PROPOSED WORKS	PRIORITY	PHOTOGRAPH
D10 Kitchen	<ul style="list-style-type: none"> Stable style timber door with operable window. New hardware, additional latches. 	B	<ul style="list-style-type: none"> No works required. 	4	
D11 Bed 3	<ul style="list-style-type: none"> Timber panel door with 2 horizontal and 3 vertical panels. Crack above door. New hardware. 	B	<ul style="list-style-type: none"> Cracking above doorway to be rectified. 	2	
D12 Bathroom/ Bed 3	<ul style="list-style-type: none"> Timber panel door with 2 horizontal and 3 vertical panels. Lock rendered shut with tape (lock not needed). New hardware. 	B	<ul style="list-style-type: none"> Adjust hardware to meet tenant's needs. 	2	



ITEM/ LOCATION	DEFECT DESCRIPTION	CONDITION	PROPOSED WORKS	PRIORITY	PHOTOGRAPH
D13 Bed 3	<ul style="list-style-type: none"> • Timber panel door with half glass and 3 vertical panels. • Blinds to sidelight windows and door glass pane/window. • New hardware. • Door stiff and often fails to function properly. 	B	<ul style="list-style-type: none"> • Adjust hardware to meet tenant's needs. 	4	
D14 Bathroom	<ul style="list-style-type: none"> • Ledged and braced timber door. • Dead bolt with latch. • Towel rail mounted to inside. 	C	<ul style="list-style-type: none"> • Oiling of timber door. • Weatherseal installed to the outside of the door. 	3	
D15 Back Door/ Dining	<ul style="list-style-type: none"> • 4 panel timber door with top two panels glazed. • New hardware. • PVC strips as flyscreen. 	B	<ul style="list-style-type: none"> • No works required. 	4	

ITEM/ LOCATION	DEFECT DESCRIPTION	CONDITION	PROPOSED WORKS	PRIORITY	PHOTOGRAPH
D16 WC	<ul style="list-style-type: none"> Ledged and braced timber door. Requires new hardware. Timber panelling is weathered. 	C	<ul style="list-style-type: none"> Replace hardware. Repair and oil timber door. 	1	
D17 Organ Room Back	<ul style="list-style-type: none"> Crack above door. New hardware. 	B	<ul style="list-style-type: none"> No works required. 	4	
D18 Organ Room Front	<ul style="list-style-type: none"> 4 panel timber door. New threshold seal. New hardware. Crack above door. 	B	<ul style="list-style-type: none"> Cracking above doorway to be rectified. 	2	

ITEM/ LOCATION	DEFECT DESCRIPTION	CONDITION	PROPOSED WORKS	PRIORITY	PHOTOGRAPH
D19 Organ Room/ Store	<ul style="list-style-type: none"> New 4 panel door 	B	<ul style="list-style-type: none"> No works required. 	4	
D20 Roof/ Loft	<ul style="list-style-type: none"> Ledged and braced timber door. Painted green. Good condition. 	B	<ul style="list-style-type: none"> No works required. 	4	
WINDOWS					
W1 Bed 2	<ul style="list-style-type: none"> Double-hung with 8 pane sashes. Functioning. New hardware evident. Hole in flyscreen. 	B	<ul style="list-style-type: none"> Flyscreen to be fixed. 	4	

ITEM/ LOCATION	DEFECT DESCRIPTION	CONDITION	PROPOSED WORKS	PRIORITY	PHOTOGRAPH
W2 Living	<ul style="list-style-type: none"> • Double-hung with 8 pane sashes. • Painted shut • Previous fixings for curtains evident • Cracking above window 	B	<ul style="list-style-type: none"> • Window to be made operable 	2	
W3 Living	<ul style="list-style-type: none"> • Double-hung with 8 pane sashes. • Minor crack above window • Previous curtain fixing 	B	<ul style="list-style-type: none"> • Rectify cracking above window 	2	
W4 Study	<ul style="list-style-type: none"> • Double-hung with 6 pane sashes. • Screen to outside. • Window goes up but nothing to prop open 	B	<ul style="list-style-type: none"> • Double hug window needs to have weights and ropes replaced to allow safe opening 	2	

ITEM/ LOCATION	DEFECT DESCRIPTION	CONDITION	PROPOSED WORKS	PRIORITY	PHOTOGRAPH
W5 Kitchen	<ul style="list-style-type: none"> Glazed double casement window. Hardware faulty and screen screws loose and broken. Crack above window. Timber lintel to the exterior. 	B	<ul style="list-style-type: none"> Rectify cracking above window. Rectify screen and hardware so window is operable. 	2	
W6 Dining	<ul style="list-style-type: none"> Double-hung with 8 pane sashes. New hardware evident. Difficult to open. 	B	<ul style="list-style-type: none"> Window to be made operable 	2	
W7 Bathroom	<ul style="list-style-type: none"> Fixed opaque window. 	B	<ul style="list-style-type: none"> No work required. 	4	

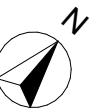
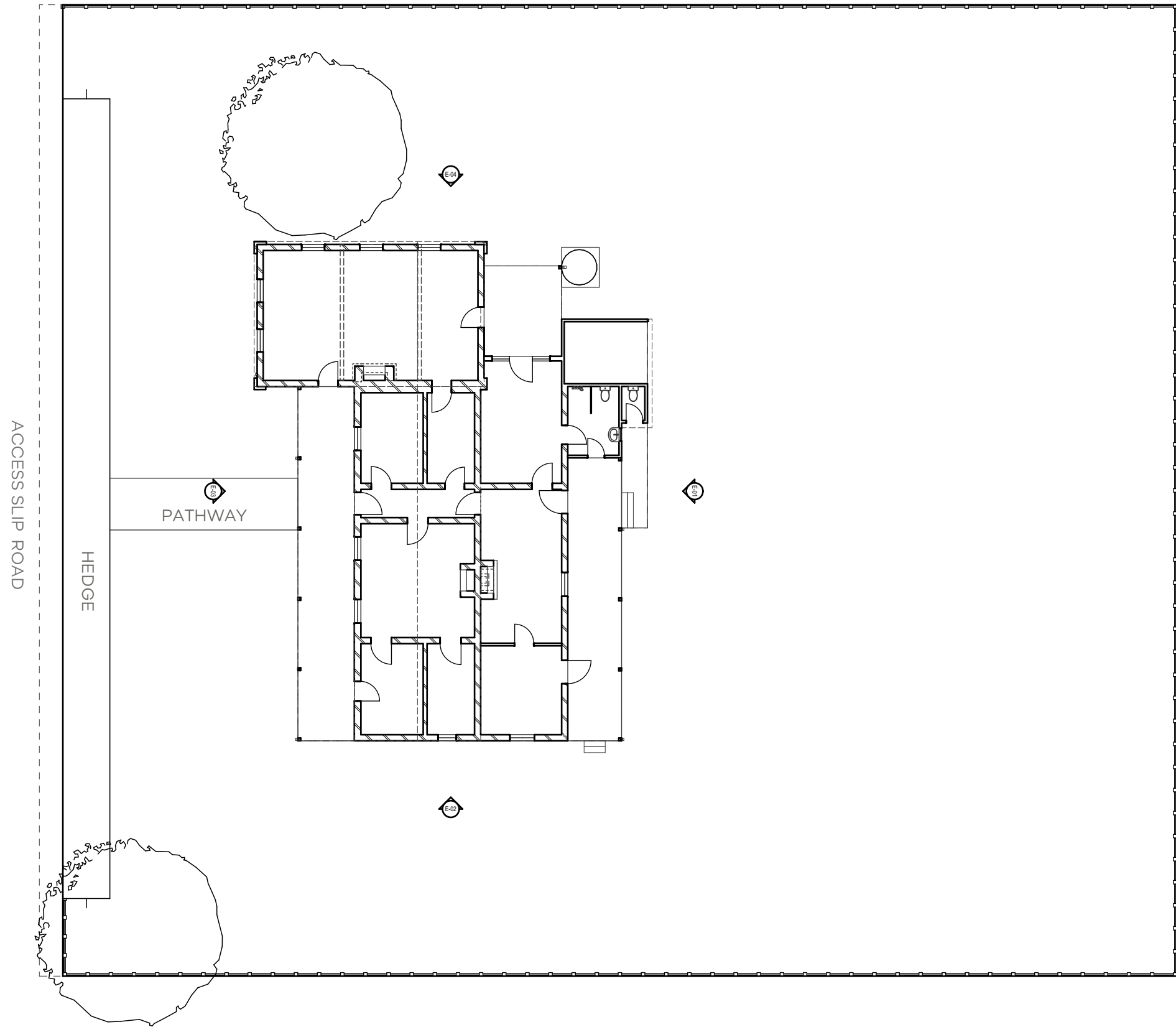
ITEM/ LOCATION	DEFECT DESCRIPTION	CONDITION	PROPOSED WORKS	PRIORITY	PHOTOGRAPH
W8/9	<ul style="list-style-type: none"> • Double-hung with 8 pane sashes. • Windows new c.1990 • Functioning • External cracking above windows • Weathering to external paint 	A	<ul style="list-style-type: none"> • No work required. 	4	
W10/W11/W12	<ul style="list-style-type: none"> • Double-hung with 8 pane sashes. • W12 isn't able to be closed. • Cracking above windows. 	C	<ul style="list-style-type: none"> • Rectify so all windows are functional. • Rectify cracking above windows. 	2	



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APPENDIX B-

MEASURED DRAWINGS &
RECOMMENDED CONSERVATION WORKS



DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION.

NOTES - GENERAL

G.1 DRAWINGS TO BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANT DRAWINGS AND SPECIFICATIONS

G.2 ALL DISCREPANCIES SHALL BE REFERRED TO THE ENGINEER FOR A DECISION PRIOR TO PROCEEDING WITH THE WORK

G.3 ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK

G.4 BUILDER OR CONTRACTOR SHALL ENSURE ALL WORK COMPLIES WITH THE LATEST AS CODES AND AMENDMENTS

G.5 DRAWINGS TO BE READ IN CONJUNCTION WITH ALL SCHEDULES AND SPECIFICATIONS

Golden Valley Homestead

Project No. 7341 Date: 22/11/2022

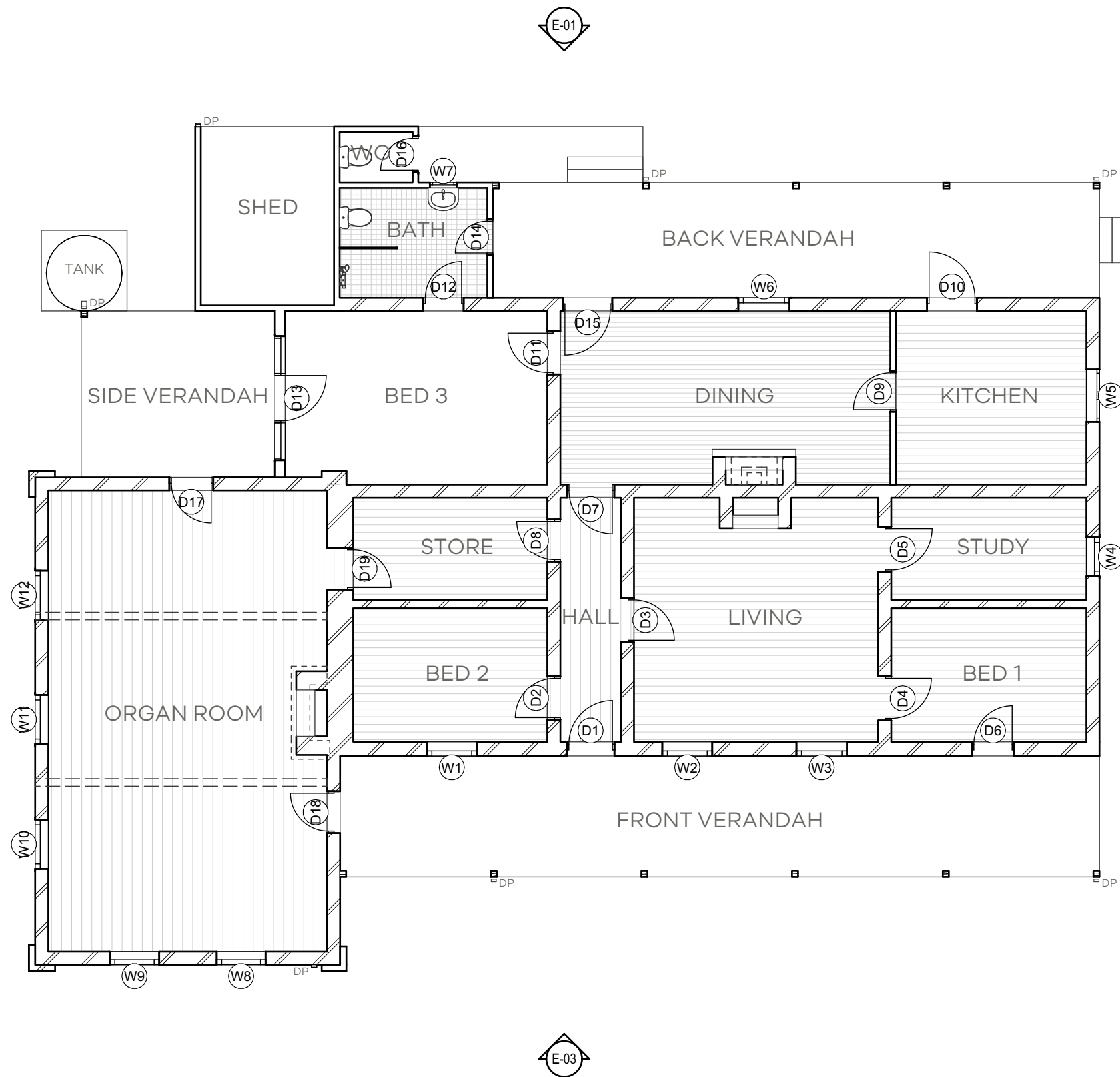
164 OLD PADBURY ROAD,
BALINGUP WA 6253

REV.	DESCRIPTION

Existing Site Plan

1

Scale : 1:200 @ A3



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Golden Valley Homestead

Project No. 7341 Date: 22/11/2022

164 OLD PADBURY ROAD,
BALINGUP WA 6253

REV.	DESCRIPTION

Existing Floor Plan

2

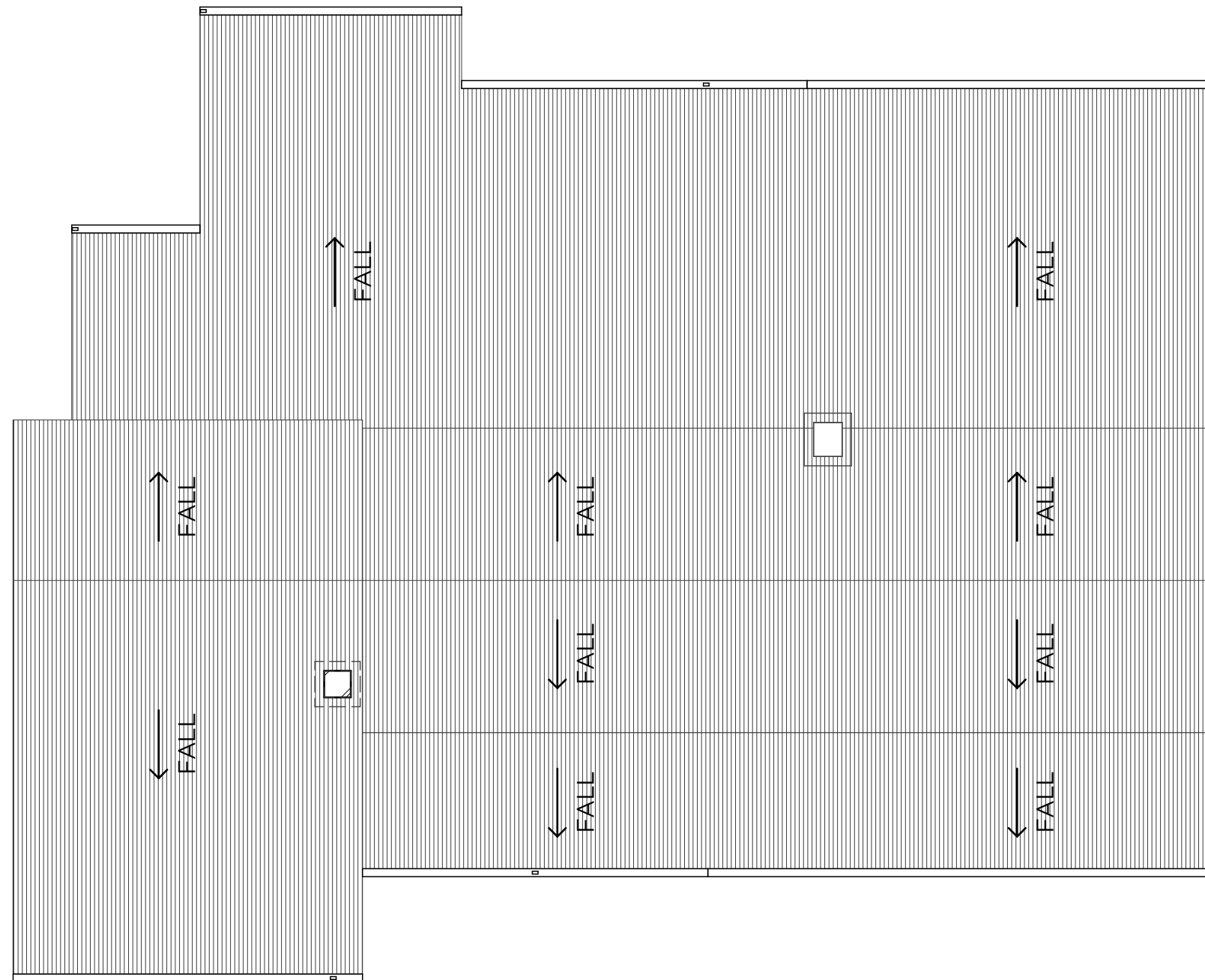
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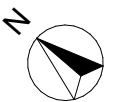
E-01

E-04

E-02



E-03



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164 OLD PADBURY ROAD,
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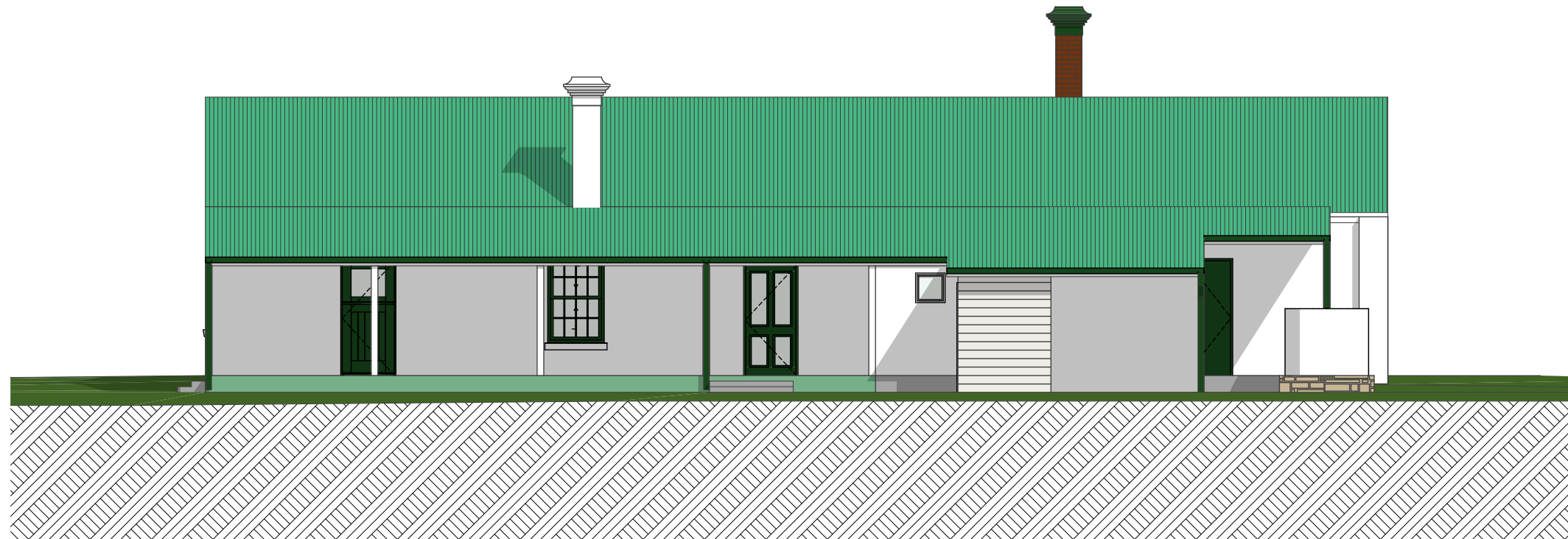
REV.	DESCRIPTION

Existing Roof Plan

3

Scale : 1:100 @ A3





E-01 EAST ELEVATION
1:100

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Golden Valley Homestead

Project No. 7341 Date: 22/11/2022

164 OLD PADBURY ROAD,
BALINGUP WA 6253

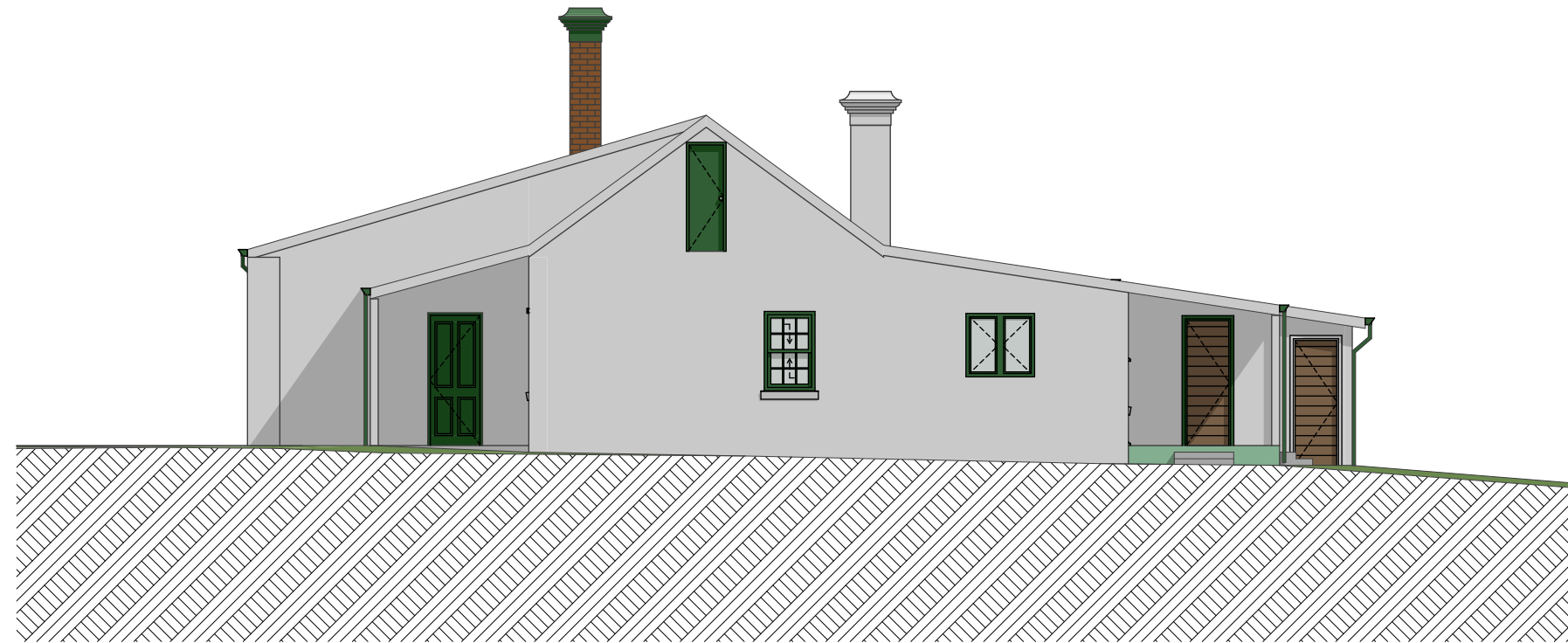
REV.	DESCRIPTION

East Elevation

4

Scale : 1:100 @ A3





E-02 SOUTH ELEVATION
1:100

DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION.


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Golden Valley Homestead

Project No. 7341 Date: 22/11/2022

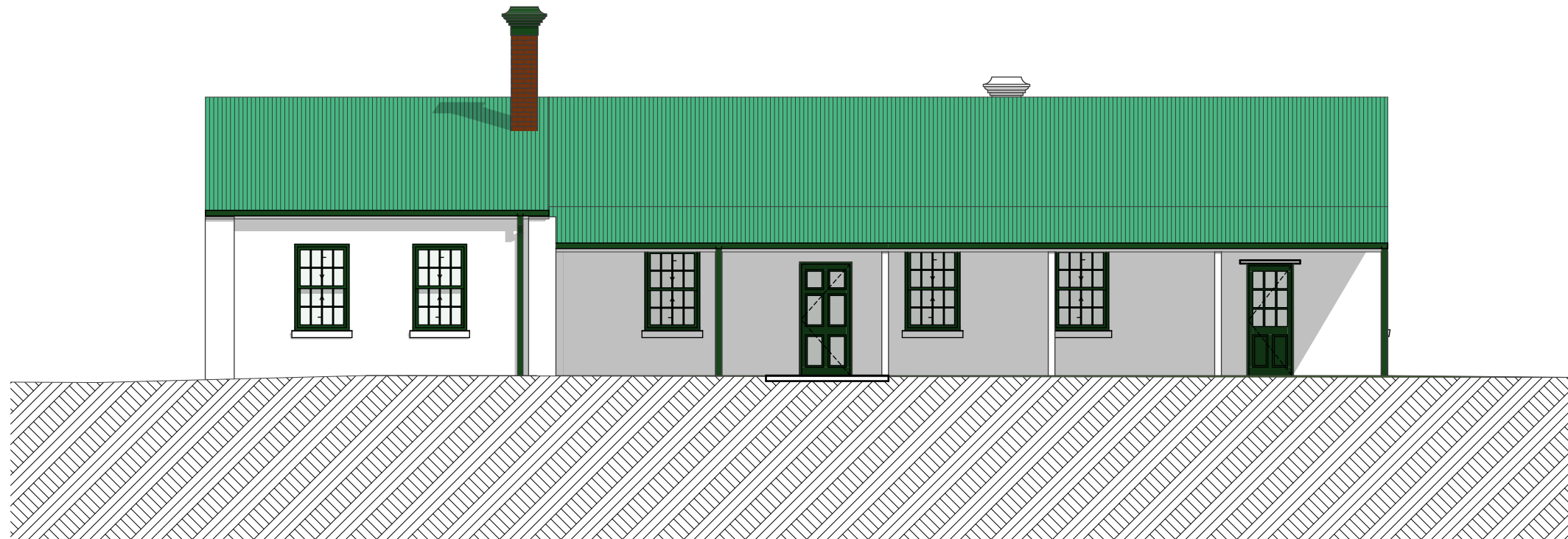
164 OLD PADBURY ROAD,
BALINGUP WA 6253

REV.	DESCRIPTION

South Elevation

5

Scale : 1:100 @ A3



E-03 WEST ELEVATION
1:100

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NOTES - GENERAL

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Golden Valley Homestead

Project No. 7341 Date: 22/11/2022

164 OLD PADBURY ROAD,
BALINGUP WA 6253

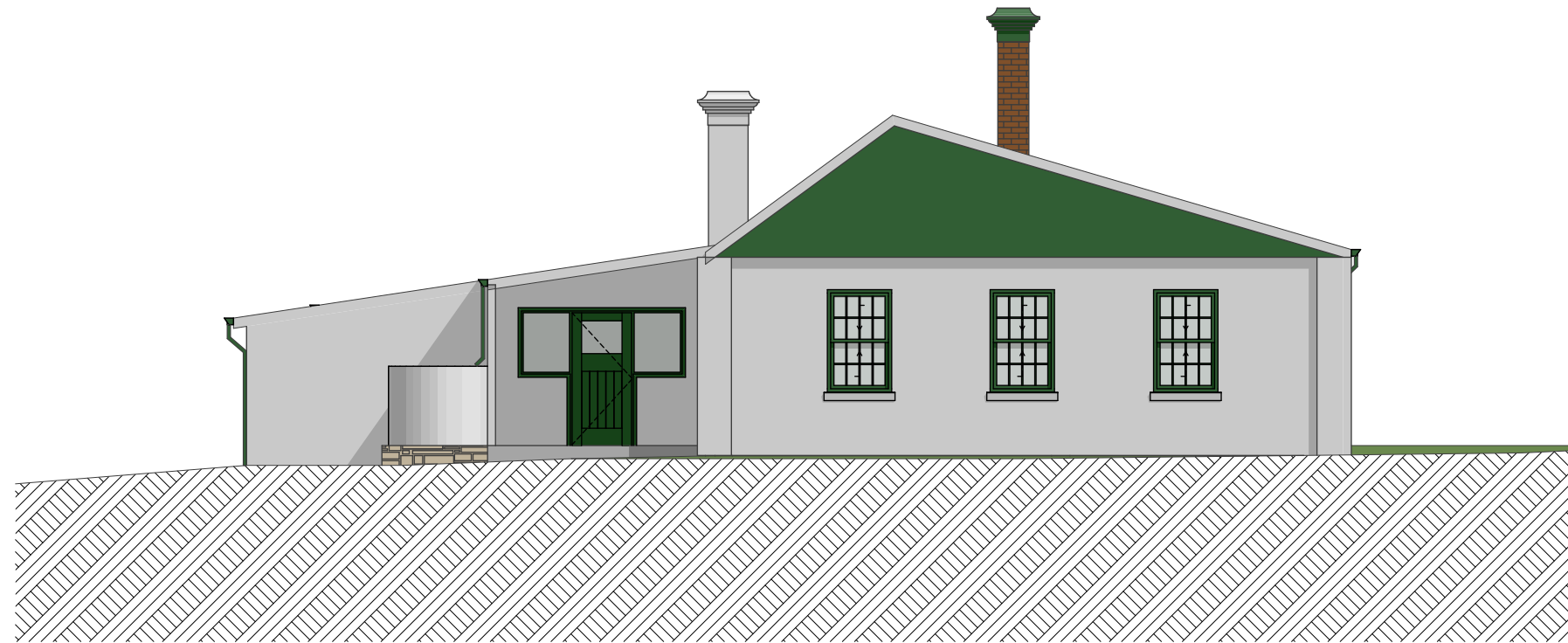
REV.	DESCRIPTION

West Elevation

6

Scale : 1:100 @ A3





E-04 NORTH ELEVATION
1:100

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<h2>Golden Valley Homestead</h2>	
Project No. 7341	Date: 22/11/2022
164 OLD PADBURY ROAD, BALINGUP WA 6253	

REV.	DESCRIPTION

<h1>North Elevation</h1> <h1>7</h1>
Scale : 1:100 @ A3

RECOMMENDED CONSERVATION WORKS

IMMEDIATE

Structural

- 1 Implement immediate actions recommended by the Structural Engineer.

Testing

- 2 Test the compressed fibre cement sheeting for contents of asbestos using a licensed asbestos removalist contractor and analysis team. Replace all damaged compressed fibre cement once material composition is known.

Temporary Repairs

- 3 Install a temporary gutter and downpipe to the north west corner of the organ room. Ensure water is directed away from the building.
- 4 Repair windows in the organ room. Repair to all non-operable doors including outdoor WC. Refit existing doors and replace hardware to windows (where faulty) using appropriate hardware styles.

SHORT TERM

Weathertightness

- 5 Replacement of existing roof sheeting with new galvanized corrugated roof sheeting (long sheets). Replacement of all associated cappings and flashings to match the galvanized sheeting.

Replacement of gutters and downpipes with galvanized ogee profile gutters and circular down pipes. Currently, the directly connected downpipes to stormwater do not allow for easy inspection. New downpipes should be installed to have an elbow and stormwater pit located under elbow. Stormwater drainage channels are to be directed (2-3m) away from the house and connected to soakwells.

Ventilation

- 6 Air drains are to be created around the building's perimeter. This is to increase ventilation to the exterior walls and reduce rising damp. Trenches for the air drain are to be cut to the building's footings. Slotted agricultural drain is to be laid in the trenches and connected to the stormwater systems. Bluemetal is to be used to fill the drain on top of the agricultural drain.

- 7 The building's existing concrete verandahs are limiting ventilation. The concrete should either be removed and replaced with timber or a trench is to be cut into the perimeter of the concrete to create an air drain for ventilation.

Material Testing

- 8 Remove and test a section of render on the south gable end. The current cement render is presumably locking in moisture to the brickwork. The original brickwork is potentially fretting and fragile. The render should be tested in sections to assess the condition, composition and degree of deterioration. Testing is required to assess whether removing the cement render will destroy the face of the brickwork.

Render removal should also be tested internally to assess the degree of deterioration to the brickwork. Testing is required to assess whether removing the cement render will destroy the face of the brickwork.

Material Repairs

- 9 All areas of major cracking are to be stitched as per Structural Engineer's advice. Rectified areas are to be repaired/stitched with a lime based render. The patch is to be ashlar lined and painted to match the existing.

- 10 Local repairs to floorboards where required.

- 11 Repair of external weatherboard to outdoor WC. Repair areas of damaged fibre cement sheets to bathroom addition.

- 12 Clean organic matter (moss and lichen) off exterior walls.

- Pests and evidence of pests are to be removed.

Garden

- 13 Vegetation is to be removed from the perimeter of the building. Irrigation and vegetation in general promotes dampness against the base of the walls.

The front existing hedge has disease damage and is difficult for DBCA to maintain. The existing hedge contributes to the setting and the cultural heritage significance of the place. Replacing the hedge with a low-maintenance hedge species is recommended.

MEDIUM TERM

Interior repairs and upgrades

- 14 Repair to cracking above doorways and windows.

Remaining repair work to all doors and windows (refer to building condition report).

Repainting of the interior following repairs to internal cracking.

- 15 Install hand basin to outside WC to allow ongoing use of facility by tenants. The ongoing use of heritage places is considered a key to ensure ongoing care and maintenance for a place.

- 16 Upgrade kitchen facilities to allow ongoing use of building by tenant.

Verandah Works

- 17 Remove the concrete verandah slab to the west elevation. Replace with a timber verandah to increase ventilation to the building.

Repair timber posts to the front verandah and use a steel stirrup detail to the base of the columns.

Paint all timber work to building including posts, verandah beams, fascias. The paint colour scheme to be further researched with paint scrapes.

LONG TERM

Reinstatement of details

- 18 Remove concrete verandahs to the north and east of the building. Install timber verandahs to allow ventilation to the building.

- 19 If render testing is successful, remove cement based render from the masonry (exterior and interior) and apply soft lime based render mix.

The authenticity of the green and white colour scheme is unknown. Undertake paint scrapes to confirm if previous colour schemes are discernible. Repaint building with a lime based (breathable) paint selected in keeping with colour scheme and ongoing use.

- 20 Rectify chimney to kitchen. Fire separation is understood to be missing and should be introduced.

- 21 Return the original gable roof (east-west orientation and pitch) to the organ roof.

- 22 The existing ceilings in the Homestead were replaced during the c1990s. Further investigation is required to understand the original ceiling materials and details. If further information is uncovered then reinstating original ceiling detailing is recommended.

Landscaping and Interpretation

- 23 A landscape plan should be prepared for the immediate fenced site. A Landscape Architect should be engaged to provide advice on the future management of plantings and explore opportunities for further landscaping and interpretation.

Ensure the Homestead is integrated into the overall Interpretation Plan for the Golden Valley Tree Park. The interpretation information should explain the original and former uses of the place as well as the cultural heritage values of the place.

- 24 Introduce an external lighting scheme to highlight the entrance, the front verandah of the building and the site.

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Golden Valley Tree Park

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Conservation Works

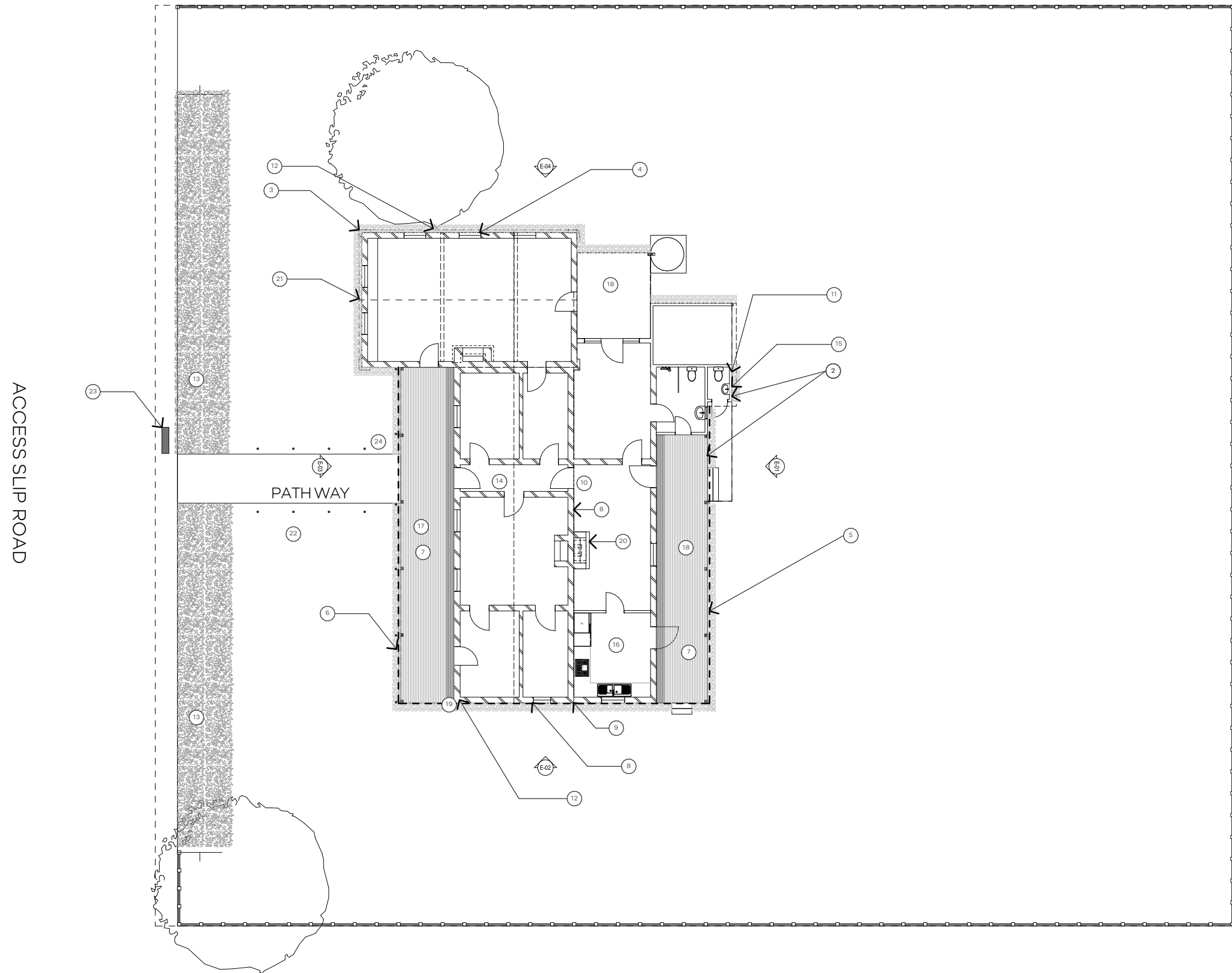
8

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Conservation Works

9

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APPENDIX C-

SITE CONTEXT PHOTOS

EXTERNAL



West Elevation



North Elevation



East Elevation



South Elevation



West elevation organ room



North-west corner pier foundation



North -west organ room corner gutter



Northern window sill to organ room (W10)



Conduit to northern organ room wall



Chimney to organ room



Organ room front door (D18)



Front verandah facing south



Front verandah slab



Front verandah post connection



Front verandah post and frieze brackets



Damage and weathering to verandah beams



Wall connection showing previous location



Damaged down pipes to verandah



Homestead front door (D1)



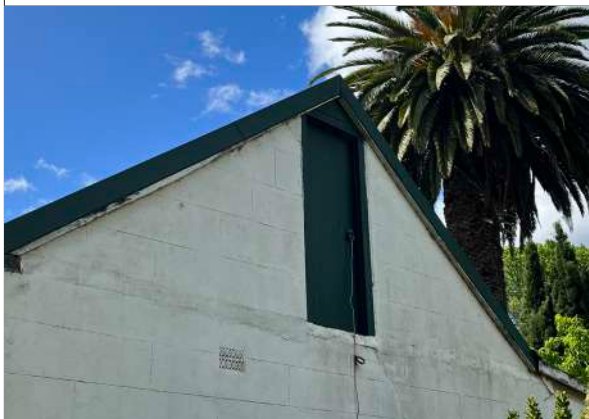
Damage to window sill (W3)



Cracking to south facade



Rear kitchen lean-to and verandah



Door to roof access



Roof rafters



Ceiling structure



Bricked in window to northern gable



Timber roof slats



Evidence of original mud render



South elevation foundation



Southern steps to rear verandah



Rear verandah



Door to Kitchen



Window to dining room (W6)



Bathroom built into verandah



Northern concrete stairs to rear verandah



Attached Toilet



Damage to fascia above toilet



Toilet



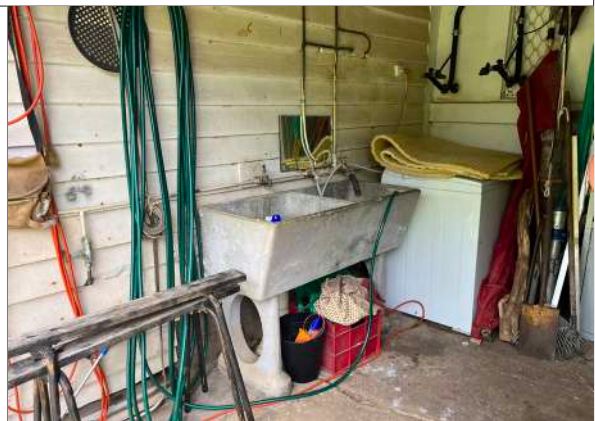
Toilet roof structure



Toilet wall damage



Shed/ Laundry space



Concrete laundry trough



Shed/ Laundry to north corner



Side Verandah



Side verandah with rear organ room door



Damaged external cornice to side verandah

INTERNAL



Organ Room northern windows



Organ Room fireplace



Organ Room western windows



Organ Room back wall and door (D17)



Organ Room roof structure



Organ Room skirting



Store Room



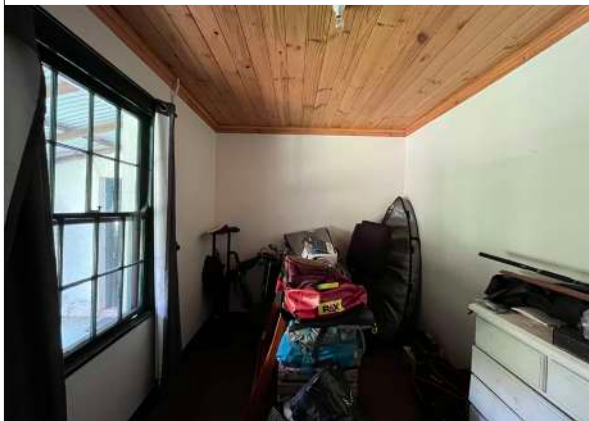
Store Room door (D19)



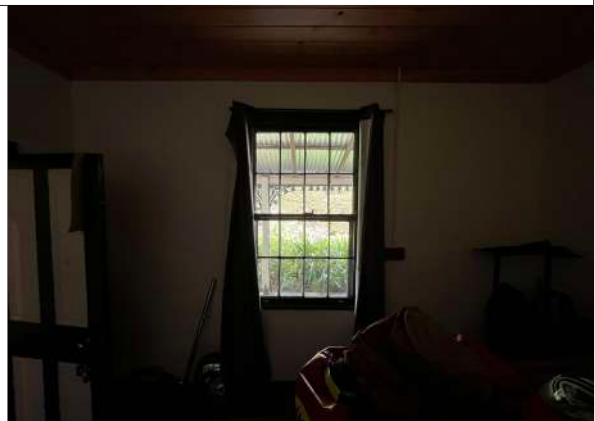
Termite damage to D8



Organ Room/ Store door (D19)



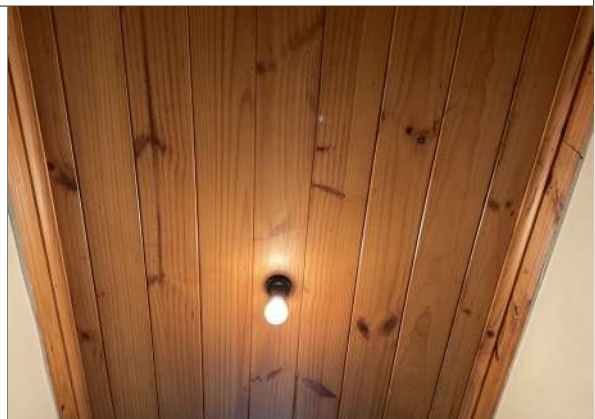
Bed 2



Bed 2 window (W1)



Hallway



Timber ceiling



Original timber floor to hallway



Floor Sub-structure



Living Room fireplace



Living Room door to Hallway



Living Room western windows



Living Room doors to Bed 1 and Study



Bed 1



Curtain covering D6



Study



Large filled crack to Study



Dining Room fireplace



Dining Room



Concrete fireplace



Replaced floorboards to Dining Room



Kitchen



Kitchen eastern wall



Kitchen partition wall



Kitchen western wall



Bed 3 back door (D13)



Bed 3 western wall



Bed 3 door to Dining (D11)



Bed 3 eastern wall (D12)



Bathroom



Bathroom vanity and W7



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