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# CONSERVATION MANAGEMENT STRATEGY

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## GOLDEN VALLEY TREE PARK WORKER'S ACCOMMODATION

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PREPARED FOR: DEPARTMENT OF  
BIODIVERSITY, CONSERVATION AND  
ATTRACTIONS

DATE: 25 OCTOBER 2022



This Conservation Management Strategy has been prepared in accordance with the scope of services described in the contract or agreement between Stephen Carrick Architects and the Client. The report relies upon data collected upon the site visit, referenced documents and photographs taken at or under the particular times and conditions specified herein.

Any findings, conclusions or recommendations only apply to the aforementioned circumstances and no greater reliance should be assumed or drawn by the Client. Furthermore, the report has been prepared solely for use by the Client and Stephen Carrick Architects accepts no responsibility for its use by other parties.

## CONSULTANT QUALIFICATIONS

Stephen Carrick Architects is an architectural practice focusing on all aspects of heritage, conservation and architectural projects. The practice has specific expertise in conservation works, conservation planning, residential and commercial projects. They are experienced in requirements for the preparation of Conservation Management Strategies.

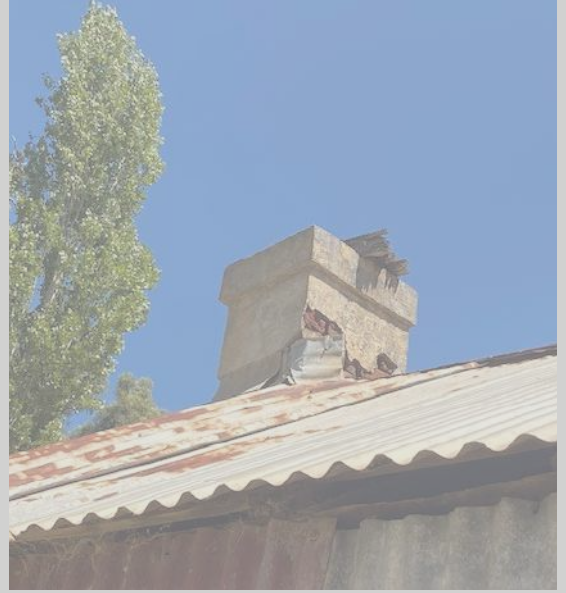
Stephen Carrick Architects have recently prepared Conservation Management Strategies for:

- St Paul's Anglican Church, Narembeen
- Narembeen Public Hall
- 1 Clarkson Road, Maylands
- Former Perth Girls' Orphanage, East Perth
- Residence - 145 Parry Street, Perth
- St Maria Goretti Catholic Church, Jarrahdale
- Manners Hill Park Pavilion, Peppermint Grove
- Success Hill Lodge, Bassendean
- St Alban's Church, Highgate

*Cover Image:*

*Photograph taken by Stephen Carrick Architects, 13 February 2022.*

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# INTRODUCTION

This Conservation Management Strategy (CMS) for the Golden Valley Worker's Accommodation has been prepared for the Department of Biodiversity, Conservation and Attractions.

The Golden Valley Worker's Accommodation is a timber framed metal clad cottage located on Lot 11, 164 Old Padbury Road, Balingup within the Golden Valley Tree Park. The building is included on the State Register of Heritage Places as part of P00707 Golden Valley.

The Golden Valley Tree Park is a sixty hectare landscaped park<sup>1</sup> located approximately 230 kilometers south of the Perth CBD and about 1.6 kilometers south of the Balingup townsite.

The Worker's Accommodation is located approximately 60 metres south of the Golden Valley Homestead. The building is surrounded by mature trees with the land sloping towards a shallow man made lake to the north east.

This report provides background information, a description of heritage listings and a practical guide to the maintenance and conservation of the place, noting the cultural heritage values of the place. This Conservation Management Strategy is consistent with best practice in heritage conservation. This Conservation Management Strategy has been prepared in accordance with the principles, processes and practice as outlined in the ICOMOS Burra Charter (2013). Definitions of terms are in accordance with the Burra Charter.

The site was inspected by Stephen Carrick Architects three times: 11 February, 2 June and 15 August 2022. The site visits allowed for visual inspection of the Worker's Accommodation, photograph the building, and prepare measured drawings. Photographs are included as an appendix to this assessment. (APPENDIX A).

No additional primary source research has been undertaken and the following secondary source information has been provided or accessed for the preparation of this document:

- State Register of Heritage Places: P00707 Golden Valley Assessment Documentation, Heritage Council of Western Australia.
- Shire of Donnybrook - Balingup Local Heritage Survey: Place Number 34 Golden Valley and Place Number 35 Golden Valley Tree Park.
- Transcript of Interview between Susan Doherty and David and Wendy Ayers, August 2021.

A Conservation Management Strategy is an owner's practical guide to the maintenance of a heritage place. Amongst other things, it contains a Building Condition Assessment Report, Conservation Management Schedule and Maintenance Schedule. This CMS provides practical information to assist in the maintenance of the Golden Valley Worker's Accommodation by providing an understanding of its current condition and the necessary actions to be undertaken to ensure that the significance of the place is not lost or compromised. This CMS promotes effective decisions through providing conservation principles and maintenance schedules for the place.

## 1.1 ACKNOWLEDGEMENTS

The consultant would like to acknowledge the assistance of the following people in the preparation of this Conservation Management Strategy:

- Jan Michelle Helsham, Heritage and Cultural Secretary - Committee of the Golden Valley Tree Park Inc.
- Natasha Moore, Acting Sustainable Forest Management Coordinator - Department of Biodiversity, Conservation and Attractions.
- Friends of Golden Valley Tree Park: Gary Hodge, Andrew Thamo, Laurence Capill.

<sup>1</sup> Golden Valley Tree Park Website, Accessed 12/09/2022, <http://www.goldenvalleytreepark.org.au/>



## 1.2 LOCATION PLAN



Regional

Source: Google Earth, Accessed 12/09/2022



Site Plan

Source: Google Earth, Accessed 12/09/2022

### 1.3 CURRENT HERITAGE LISTINGS

The following section identifies the current heritage listings and cultural heritage significance of the Golden Valley Worker's Accommodation.

#### Listings

National Heritage List (Commonwealth)	No
Register of Heritage Places (State)	Yes
Classified by the National Trust of Australia (WA)	Yes
Local Heritage Survey (LHS) Heritage List	Yes
	No

#### State Register of Heritage Places

The Heritage Council of Western Australia maintains a heritage database, 'InHerit'. The database contains information on statutory and non-statutory heritage listings, and the results of heritage surveys and studies. Inclusion on the State Register carries statutory requirements.

The Golden Valley Worker's Accommodation is located within the Golden Valley Tree Park and is included on the Heritage Council of Western Australia's Register of Heritage Places as part of *P00707 Golden Valley*. The place was permanently listed on 14 December 2001.

#### National Trust of Australia (WA)

National Trust classification provides community recognition of a place as having cultural heritage significance. It does not carry any legal requirements.

Golden Valley Worker's Accommodation is classified by the National Trust of Australia (WA) as part of Golden Valley. The place was classified on 03 December 1979.

#### Local Heritage Survey (LHS)

A Local Heritage Survey (previously known as a Municipal Heritage Inventory) is an ongoing database that records and provides information on places of cultural heritage significance located within the municipality.

The Golden Valley Worker's Accommodation is included on the Shire of Donnybrook - Balingup Local Heritage Survey as part of *Place Number 34 Golden Valley* with a Management Category 1.

Management Category 1 is defined as 'Highest level of protection appropriate: recommend for entry in the State Register; Council will provide maximum encouragement to the owner to conserve the significance of the place.'

#### Heritage List

The Shire of Donnybrook - Balingup Heritage List does not currently have a Heritage List.

## 1.4 STATEMENT OF SIGNIFICANCE

The following Statement of Significance has been directly sourced from the Heritage Council of Western Australia's Register of Heritage Places Entry Documentation for *P00707 Golden Valley*.

Golden Valley, an arboretum, landscape setting, with a single storey rendered mud brick and Colorbond corrugated steel homestead in the Victorian Georgian style, and a timber framed metal clad cottage, has cultural heritage significance for the following reasons:

- the natural topography, exotic and native trees, Inter-War tree plantings and subsequent arboretum plantings, meadows, a creek, early cottage, and homestead create a pleasing setting with significant aesthetic and landscape value;
- its setting, design, and the quality of the accommodation, together with subsequent changes to the fabric, provide evidence of the social and economic status of the occupiers;
- the buildings exhibit characteristics of an 1880s, purpose built homestead and workers' accommodation;
- it is highly valued by the community for its associations with the European settlers of the South-West, in particular the Roberts family for whom the place was built, and with the later owners who contributed to the development of Balingup and to the life of the community;
- it contributes to the community's sense of place for its important role in the development of Balingup, and its integral association with the arboretum, Golden Valley Tree Park, which has been interlinked with the place since the 1980s; and,
- the arboretum has developed as a resource for the study of native and exotic trees and provides a reference for many plant types, while at the same time forming a setting of some importance.



## 2.1 DOCUMENTARY EVIDENCE

The following Documentary Evidence has been directly sourced from the Heritage Council of Western Australia's Register of Heritage Places Assessment Documentation for P00707 Golden Valley.

*Golden Valley is a homestead (c. 1880s) and workers' accommodation (1880s) set in former farmland and an arboretum. It comprises a single storey rendered mud brick domestic house with a corrugated Colorbond steel roof, constructed for W. C. F. Roberts in the 1880s, with the addition of an organ room c. 1900. The latter was reconstructed c.1991. The workers' accommodation is a two roomed dwelling which is timber-framed with exterior walls of corrugated iron, and interior walls of pressed metal and lathe and plaster, with a corrugated iron roof.*

*In January 1840, Assistant Surveyor H. M. Ommanney went with Vernon and Charles Bussell, and an Aborigine named Eragargoot from Eundilup (later Busselton) via a circuitous route to Elap (later Bunbury- Picton area) in order to inspect the area where Capel and Preston Rivers leave the hills.<sup>1</sup> Ommanney noted "a tract of very fine country well adapted for grazing and in places, agriculture."<sup>2</sup> Major Irwin, J. C. Singleton and R. H. Bland and Warburton made a short excursion from the Blackwood River to Balingup Brook when they traveled from King George Sound to Vasse in January 1842. Bland noted the vegetation was "very dense and the hills very steep."<sup>3</sup> Surveyor-General J. S. Roe further explored the area in January 1849.<sup>4</sup>*

*In 1859, Walter Padbury was the first European settler to take up land in the Balingup district, taking up Location 3 in Nelson Location.<sup>5</sup> Padbury established his brothers, Mark and Edwin, at Ferndale and Brooklands, from where they managed his considerable holdings in the district.<sup>6</sup> The homesteads built at both were similar in style, with the rooms opening to*

*verandahs on either side.<sup>7</sup> The name Padbury is commemorated in Padbury Road.*

*In the 1860s, land use in the district was mixed farming, mainly for cattle grazing until the introduction of large flocks of sheep in the late 1860s, and with some land under tillage.<sup>8</sup>*

*On 20 July 1885, Charles Fox Roberts, Farmer, of Bunbury, was granted Nelson Location 165, 197 acres in area, in return for an annual peppercorn rent.<sup>9</sup> On 3 August, a Certificate of Title was issued to him as sole proprietor.<sup>10</sup> Charles Fox Roberts (b. 1844) was the youngest child of William Jenkin and Isabella Roberts, who had arrived per *Diadem* in April 1842.<sup>11</sup> In September 1864, at Bunbury, he married Hannah Hurst (b. 1845, arr. 1849 per *Hamilla Mitchell*), who had 12 children (1865-88), William Charles Fox being the eldest surviving child and the one most closely associated with Golden Valley.<sup>12</sup> From 1867 to 1876, Roberts was a farmer and grazier at Capel Farm, and took over his father's tenancy of Governor Stirling's Estate at Minnipup until c. 1887, when he owned Greenfields at Stratham.<sup>13</sup>*

*In 1886, William Charles Fox Roberts married Mary L. Longbottom (b. 1864, d. 1907). Although on source recorded William Charles Fox Roberts as the first owner of the place<sup>14</sup>, the historic Title search for this Assessment reveals that his father continued in ownership. Thus it seems likely that William Charles Fox Roberts worked the property for his father. In addition to the freehold at Nelson Location 165, it appears that Roberts had taken up leases and/or additional freehold land, as the total holding was c. 1,200 acres, which was first used to run cattle.<sup>15</sup>*

*Primary research will be required to ascertain*

1 Frost, A. C. *Baylya-Balinga A History of Balingup*, W. A. (Donnybrook-Balingup Shire Council, 1979) p. 3.

2 Ommanney, H. M. "Exploration Diaries, Vol. 1, 1827-1832" quoted in Frost, A. C. *Baylya-Balinga A History of Balingup*, W. A. (Donnybrook-Balingup Shire Council, 1979) p. 5.

3 Frost, A. C. op. cit., p. 5.

4 *ibid.*

5 *ibid.*, p. 13.

6 *Ibid.*, p. 22.

7 Nairn, J. op. cit., p. 192.

8 Nairn, J. op. cit., pp. 169-170.

9 Grant under Land Regulations of 14 September 1878, 6C/23. Note: Frost (1979, p. 88) states Roberts' son, W. C. F. Roberts, 'settled on Golden Valley in 1880'. Further research is necessary to determine if C. F. Roberts had taken up pastoral leases in the locality at this period, and if his 15 year old son was working there.

10 Certificate of Title Vol. XV Fol. 151.

11 Erickson, Rica (Ed.) *The Bicentennial Dictionary of Western Australians pre-1829-1888* (University of Western Australia Press, Nedlands, 1987-88) p. 2642.

12 *ibid.*, p. 2636.

13 *ibid.*

14 Erickson, Rica (Ed.) op. cit., 1897. Note: In 1895 per p. 2642.

15 Frost, op. cit.



whether any permanent buildings and/or other structures were erected in this early period, and to ascertain the dates of construction of the extant buildings at the place, i.e. the homestead and the workers' accommodation. Previous assessments by the National Trust of Australia (W. A.) and the Australian Heritage Commission noted that the two room corrugated iron building was believed to be the original homestead constructed in the 1880s.<sup>16</sup> Both buildings were built next to the Balingup Brook, a short distance apart.

The two room building (1880s) was constructed with a timber frame, corrugated iron external walls on three sides and timber weatherboards on the fourth, and a corrugated iron roof. The external walls extant in 2001 bear the Redcliffe Trademark. The interior walls were clad with pressed metal in a decorative pattern to dado height, and lathe and plaster above. There was a brick fireplace and chimney in the centre of the building.<sup>17</sup> The use of pressed metal as a decorative finish suggests that it may well have been the original homestead as this finish was unlikely to be found in a building constructed as workers' accommodation.

Agricultural progress in the Balingup district was slow through the 1880s and 1890s, when the predominant land use continued to be for pastoral purposes.

The present homestead was also built at the place in the late nineteenth century. The dates of construction given in various sources vary from 1800s to 1895.<sup>18</sup> Previous assessments have recorded the place was built for and occupied by Charles Fox Roberts; however, as noted above, it is more likely that the place was built for his son, William Charles Fox Roberts, who occupied it with his family.<sup>19</sup> The single storey homestead was built in the Victorian Georgian style, of soft burnt bricks in mud mortar, with timber joinery mostly of jarrah, and a corrugated iron roof.<sup>20</sup> The central core of the building was pit sawn jarrah, with butt jointed

boards.<sup>21</sup> The construction materials and the simple vernacular design, with verandahs at the front and rear, are similar to other homesteads built in the South West in the latter half of the nineteenth century. Thenceforward the two-room building was probably used as workers' accommodation.

In 1898, Balingup was declared a township; and, on 1 November, the railway line between Donnybrook and Bridgetown, was opened to traffic as a Government line, passing through Balingup.<sup>22</sup>

In the early 1900s, a large room extending the width of the homestead was added to the place, with one end of the room built up to accommodate the pipe organ, and the room became known as the organ room.<sup>23</sup> The precise details of the addition have not been established, and it is not certain whether the room was added during the ownership of Roberts, or one of the subsequent owners in the pre World War One period.

On 18 March 1904, the place was transferred by endorsement to Mountray Frederick Richardson Bunbury, Farmer, of Picton near Bunbury.<sup>24</sup>

In June 1905, the Balingup Progress Association was formed.<sup>25</sup>

On 29 December 1906, the place was transferred by endorsement to Francis Craig, Gentleman, of Perth.<sup>26</sup> His sons, Leslie and Colin, both served with the Light Horse Troop, and Colin met and later married the daughter of General Birdwood, Commander in Chief of the Australian Military Forces.<sup>27</sup> They returned to Golden Valley after the war, and General Birdwood visited them at the place.<sup>28</sup>

16 National Trust of Australia (W. A.) Assessment, 9 September 1979.

17 *ibid.*

18 HCWA Data Base 0707 and National Trust of Australia (W. A.) Assessment and File.

19 Wise's Post Office Directory 1895, in Frost, A. C. op. cit., p.37.

20 National Trust of Australia (W. A.) Assessment, 9 September 1979.

21 HCWA Data Base 0707 op. cit.

22 Frost, A. C. op. cit., p. 41.

23 Frost, A. C. op. cit.

24 Certificate of Title Vol. XV Fol. 151. Note: previous documentation per HCWA Data Base No. 0707, National Trust of Australia (W. A.), and Register of the National Estate recorded Mountray and Bunbury as two separate owners of the place.

25 Frost, A. C. op. cit., p. 45.

26 Certificate of Title Vol. XV Fol. 151.

27 Frost, A. C. op. cit., p. 53.

28 *ibid*

He was persuaded to open the Memorial Park and to plant the first tree, and thereafter the park became known as Birdwood Park.<sup>29</sup>

On 26 March 1920, the place was transferred to Edmund Peter Blakeney, Farmer, of Balingup.<sup>30</sup> Peter Blakeney owned the place for 25 years; and for part of this period, a golf course was located on the property.<sup>31</sup>

On 18 January 1921, a portion of Nelson Location 165 was transferred to George Gull; and a new Certificate of Title was issued for the balance, being 190 acres 15 perches in area, on 15 March.<sup>32</sup>

In the 1930s, the introduction of subterranean clover into the district substantially improved the stock-carrying capacity of the land, and together with mechanisation of milking (initially with petrol driven machines) enabled the expansion of dairy herds. By this date, Balingup township had become 'a thriving little community', as the local farming community had been considerably increased by the division into smaller farms of a number of the larger estates, some as part of the government's Soldier Settlement Scheme.<sup>33</sup>

In 1945, the place was transferred from Blakeney to David Bruce Goyder, of View Street, Peppermint Grove, less a portion resumed for South Western Highway.<sup>34</sup> The Goyder family took up residence at the place, and worked the farm with some assistance from a prisoner of war.<sup>35</sup> At this period, the homestead gardens were well established and well maintained, with a post and rail fence enclosing the grounds. The front hedge was mature, and was valued by the family as it screened the homestead and absorbed dust from traffic along the road. The extant outbuildings included a closet to the northeast of the homestead, wood shed at the east, early stables and later hay-shed to the south-east, and dairy to the east, by the road.<sup>36</sup> A new shed was built opposite the

homestead on the south-west side of Padbury Road, which is extant in 2001. None of the other outbuildings are extant in 2001, other than the two room cottage; however, there are remnants of the dairy.

During the occupation of the place by the Goyder family, rooms B, E, G, and F were used as bedrooms; room I was converted from kitchen to smoking room for Mr. Goyder; room H was converted to a kitchen with a wood combustion stove installed; room A was referred to as 'the big room, and served as the living room; room C was a passage leading to room A; and room J, in which the bellows for the organ had been housed during the Craig family's occupation, was 'always unfinished' and was used as a store room for groceries etc. During this period, a new w. c. was built beside the existing bathroom. The timber dais was extant in room A. Wedding receptions and other gatherings were held in 'the big room.'<sup>37</sup>

On 10 July 1946, the place was transferred to Jean Barbara Goyder, Married Woman, and David John Barr Goyder, Farmer, both resident at the place, as tenants in common, with two thirds shares held by Mrs Goyder, and the remaining one third share by her husband.<sup>38</sup>

In the 1950s, the Forests Department expanded its pine planting program in the South-West, and had purchased 6,794 hectares of land for pine planting mainly in the Blackwood Valley by June 1959.<sup>39</sup>

On 15 February 1963, Golden Valley, 190 acres and three perches in area, was transferred to John Tomlinson, Farmer, of Como.<sup>40</sup>

Despite objections by local people who feared that the continuation of this program would see the Blackwood Valley taken over by pine plantations, there was a steady increase and consolidation of the program through the 1960s, and after 1963, the annual rate of planting of *Pinus radiata* was in excess of 1,250 hectares.<sup>41</sup>

On 16 December 1977, the place was

29 *ibid.* Note: The park became a popular picnic place, with a swimming pool in Balingup Brook.

30 Certificate of Title Vol. XV Fol. 151.

31 Frost, A. C. *op. cit.*, p. 49.

32 Certificate of Title Vol. 800 Fol. 88.

33 *ibid.*, p. 48.

34 Certificate of Title Vol. 800 Fol. 88.

35 Pat Somerset (nee Goyder), conversation with Robin Chinnery, 5 June 2001.

36 *ibid.*

37 *ibid.*

38 Certificate of Title Vol. 800 Fol. 88.

39 Frost, A. C. *op. cit.*, pp. 109-111.

40 Certificates of Title Vol. 800 Fol. 88 and Vol. 1269 Fol. 387.

41 Frost, A. C. *op. cit.*, p. 109.

transferred to The Conservator of Forests.<sup>42</sup> On 10 July 1981, Certificate of Title Vol. 1269 Fol. 387 was totally cancelled, and a new Certificate was issued for portion of Nelson Location 165.<sup>43</sup>

In 1979, the place was assessed by the National Trust of Australia (W. A.), and subsequently classified on 3 December.<sup>44</sup> The assessment drew attention to the organ room as a distinctive feature of the place, and noted that this room was 'in a dangerous state'.<sup>45</sup>

In 1981, it was reported that the homestead "is currently being renovated to maintain historical and architectural values."<sup>46</sup> Details of the work undertaken at this period have not been ascertained.

Under the Balingup Progress Association, a Committee was formed to raise money for the works required at the place, and to manage the project to develop an arboretum as a joint project with CALM.<sup>47</sup> 60 hectares was set aside for the park, divided into two sections at the west and east sides of Padbury Road.<sup>48</sup>

On 30 July 1984, a new Certificate of Title was issued for portions of Nelson Location 165 and the adjoining Nelson Location 102 as per Diagram 66191.<sup>49</sup> On the same day, that Certificate was cancelled, and new Certificates were issued for Lots 10 and 11, Lot 11 being the site of the homestead, with an area of 9.9128 hectares.<sup>50</sup>

42 Certificate of Title Vol. 1269 Fol. 387.

43 Certificates of Title Vol. 1269 Fol. 387 and Vol. 1596 Fol. 977.

44 National Trust of Australia (W. A.) Assessment, 3 December 1979.

45 *ibid.*

Note: the Assessment reported that the organ had been removed to the North Perth Congregational Church; and a note was added that the organ's whereabouts were unknown since the formation of the Uniting Church. On the other hand, Frost (1979, p. 53) reported that according information given to him, the organ was in St. Mary's Church of England in West Perth in 1979.

46 Christensen, P., Pentony, K. and Schmidt, W. Special Focus No. 2 *The Blackwood: A Valley in Transition* (B. J. Beggs, Conservator of Forests, Forests Department of Western Australia, Perth, W. A., 1981) p. 26.

47 National Trust of Australia (W. A.) File; and Wendy Trow, conversation with Robin Chinnery and Philip Griffiths on site visit, 21 May 2001.

48 Pamphlet 'Golden Valley Tree Park Balingup'.

49 Certificates of Title Vol. 1596 Fol. 977 and CT 1672 Fol. 140.

50 Certificates of Title CT 1672 Fol. 140, and for Lot 11, CT 1672 Fol. 142.

Under the Balingup Progress Association, a Committee was formed to raise money for the works required at the place, and to manage the project to develop an arboretum on land which had been part of Golden Valley and Yungerup, which would include many of the mature trees planted by former owners of the places.<sup>51</sup> The park has been established as 'a unique collection of beautiful and interesting trees from all over the world, grown in a landscaped setting', with the aim of creating 'an inspirational place for all who enjoy the beauty of nature'.<sup>52</sup> The area to the west of the road was established as the Australian collection, and the area to the east as the exotic collection, with plaques engraved with details of the individual plantings, and with walk trails through the park. A membership and sponsorship scheme was established to support the park.<sup>53</sup>

The place was entered in the Register of the National Estate. The Statement of Significance described it as 'an important example of a modest rural homestead complex', which was valued along with its grounds 'as part of the Golden Valley Tree Park'.<sup>54</sup>

In July 1990, the Acting District Manager of CALM at Kirup wrote to the National Trust of Australia (W. A.) regarding a proposal to restore the place, and its possible future use as a public information centre and conservation project base.<sup>55</sup> In November 1990, a schedule of proposed works to be implemented at the place was drawn up, with the assistance of the National Trust of Australia (W. A.) and Architect John Pidgeon.<sup>56</sup> Proposed works included replacement of a number of doors and architraves, re-glazing of windows, electrical works, plumbing, refurbishment including rendering and cement bagging of walls where required, painting walls, doors, windows etc., at an estimated cost of \$27,850;

51 National Trust of Australia (W. A.) File; and 'Golden Valley Tree Park Balingup' *op. cit.*

Note: a large orchard was established at Yungerup by Frank Cleveland, about three km south of Balingup on the old Baligup - Greenbushes Road.

52 'Golden Valley Tree Park Balingup' *ibid.*

53 *ibid.*

Note: many of the plaques are missing in 2001, mostly as a result of damage by sheep which are grazed in the park. (Site visit and Wendy Trow *op. cit.*)

54 HCWA Data Base 0707.

55 B. C. Foster in National Trust of Australia (W. A.) File, 6 July 1990.

56 National Trust of Australia (W. A.) File.

with an additional allowance of \$2,150 for maintenance on the grounds including fences and pathways, bringing the total to \$30,000.<sup>57</sup> At this period, the original timber ceilings in the five front rooms of the place were extant, but had been damaged by termites.<sup>58</sup>

In March 1991, the National Trust of Australia (W. A.) urged that timber ceilings should be used to replace and reinstate the ceilings where necessary, advised that the use of gyprock cornices would be inappropriate, and also saw 'no reason why the existing cornices can not be replaced or renewed if timber ceilings cannot be afforded.' The Trust also noted references in the proposed works to the rendering of internal walls, and advised that the original mud rendering or soft burnt bricks in mud mortar was of historic interest and repairs should be carried out 'in the same manner'.<sup>59</sup>

Photographs in the National Trust of Australia (W. A.) Collection show the place prior to the implementation of the above works, with the 'original chapel' (i. e. the organ room) prior to repairs, the damaged walls of this room 'about to be demolished', and the room with those walls removed.<sup>60</sup>

By 1991, a considerable number of trees had been planted at the arboretum, and the group were continuing to plan for future development.<sup>61</sup> In August, *The West Australian* reported that Golden Valley Tree Park had been 'earmarked as a major tourist attraction at Balingup.' The Balingup Progress Association was 'excited about the recognition given to it by the WA Tourism Commission', and an Association member said the 'badly run-down' homestead 'may be turned into an information centre and tea rooms.' It was reported 'it is now difficult to see where the blacksmith and tennis court once were.'<sup>62</sup> In 2001, these sites are no longer visible, and further research will be necessary to determine their locations.

In 1991, most of the proposed works were carried out, including the replacement of

ceilings with pine boards; and subsequently the National Trust of Australia (W. A.) recorded that the organ room had been removed and replaced in 'an unsympathetic manner'.<sup>63</sup> It was noted that the verandahs were still intact and the 'splendid iron work of distinctive style' on the front verandah remained extant.<sup>64</sup>

On 9 September 1992, the place was entered on a Interim basis on the Register of Heritage Places. On 24 January 1994, a Memorial was registered on the place under the Heritage of Western Australia Act 1990.<sup>65</sup>

In August 1995, the place was included in the Shire of Donnybrook-Balingup Municipal Heritage Inventory.

The place has continued to be leased to tenants until the third week in May 2001, when the existing tenants were vacating the homestead. The organ room continues to be used as a meeting room for the Balingup Progress Association and its off shoot, the Golden Valley Tree Park Committee. The Association's proposal to use the homestead as an information centre has not yet come to fruition. However, the Committee is hopeful that future use of the place may provide opportunities for this use, especially with plans in progress for the re-alignment of the nearby section of the Bibbulmun Track to pass through the site. Future plans for the arboretum include surfacing of Padbury Road to provide improved access, and both proposals will bring increased numbers of visitors to the place.<sup>66</sup>

In c.2004, the Old Padbury Road was surfaced with bitumen. The works involved the creation of a visitors parking bay that extends along the front facade of the Golden Valley Homestead. Around the same time a visitors information shelter was erected to the east of the Homestead.<sup>67</sup>

As of October 2022, the Golden Valley Homestead is privately leased as a residential property by the Department of Biodiversity, Conservation and Attractions (DBCA). The Organ Room of the Homestead is still occasionally used for meetings

57 National Trust of Australia (W. A.) File.

58 CEO National Trust of Australia (W. A.) to District Manager, CALM, in *ibid*, 7 March 1991.

59 *ibid*.

60 National Trust of Australia (W. A.) Photographic Collection.

61 National Trust of Australia (W. A.) File.

62 *The West Australian* 6 August 1991, p. 47.

63 National Trust of Australia (W. A.) File, 1991.

64 *ibid*.

65 Certificate of Title CT 1672 Fol. 142.

66 Wendy Trowop. *cit*.

67 Aerial photographs, 1996-2020, Landgate Mapviewer, <https://map-viewer-plus.app.landgate.wa.gov.au/>



by members of the Golden Valley Tree Park Advisory Committee.<sup>68</sup>

The Bibbulman track currently runs through the site, passing north of the Homestead between the building and the creek.<sup>69</sup>

The Shire of Donneybrook-Balingup are upgrading the footpath that connects the Balingup townsite with the Golden Valley tree Park. Works are due to commence late 2022/ early 2023.<sup>70</sup>

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68 Moore, Natasha. 'Workers Cottage CMS'. Email correspondence with Stephen Carrick Architects, October 24, 2022.

69 *ibid.*

70 *ibid.*

## 2.2 HISTORICAL CHRONOLOGY

This following information is extracted from the above Documentary Evidence to provide a chronological summary of development of the Golden Valley Tree Park.

1859	Walter Padbury, first European settler in Balingup in Nelson Location.	1963	Ownership was transferred to John Tomlinson.
1880s-1895	<b>Construction of Worker's Accommodation as the original Homestead.</b>  Construction of former Homestead, built for Charles Fox Roberts & occupied by his son, William C.F. Roberts with his family.	1977	Ownership transferred to the Conservator of Forests.
1898	Balingup was declared a town-ship & opening of railway line between Donnybrook and Balingup as Government line.	1979	Golden Valley is classified by the National Trust
1900s	Addition of the Organ Room to the Homestead.	1981	Renovation and maintenance works to the Homestead were undertaken.
1904	Ownership transferred to Mountray Frederick Richardson Bunbury.	1990	Maintenance and proposed replacement works to the Homestead
1905	Balingup Progress Association was formed.	1992	Golden Valley entered on an interim basis to the State Register of Heritage Places
1906	Ownership transferred to Francis Craig.	1995	Inclusion of Homestead in the Shire of Donnybrook-Balingup Municipal Heritage Inventory
1920	Ownership transferred to Edmund Peter Blakeney.	2001	Golden Valley permanently entered on the State Register of Heritage Places
1930s	The introduction of subterranean clover	2022	Conservation Management Strategy completed for the Golden Valley Worker's Accommodation by Stephen Carrick Architects
1945	Ownership transferred to David Bruce Goyder. New shed built opposite to homestead on southwest side of Padbury Road.		
1950s	Pine Planting Program expanded by the Forests Department in the Southwest		

## 2.3 PHYSICAL DESCRIPTION

This section describes the subject site at the time of inspection by Stephen Carrick Architects. A broad description of the condition of the building is also provided.

This section is divided into the following subsections:

- 2.3.1 Context
- 2.3.2 Exterior
- 2.3.3 Interior
- 2.3.4 Condition

### 2.3.1 CONTEXT

The Golden Valley Worker's Accommodation is located on Lot 11, 164 Old Padbury Road, Balingup. The building is situated within the Golden Valley Tree Park. The site features a sloping topography, from west to east surrounded by '*inter war tree plantings and subsequent arboretum plantings*' and a shallow man made lake located towards the north east.

The Worker's Accommodation is located to the south of the Golden Valley Homestead. The homestead is a single storey rendered mud brick house with a corrugated Colorbond steel roof and pit sawn jarrah timber throughout.<sup>1</sup>

The homestead is enclosed to the front by a large hedge with an arched entry and a number of mature trees. A low split-rail wooden fence encloses the rear of the building.

A section of the Bibbulman Track crosses through the Golden Valley Tree Park adjacent to the Worker's Accommodation and is the starting point of the Golden Valley Tree Park trail. Between the Homestead and the Worker's Accommodation, there is an undercover shelter with maps and information boards.

The surrounds feature a number of plantings including Fig, Bamboo, Mulberry, and Poplar trees.

<sup>1</sup> Heritage Council of Western Australia, Register of Heritage Places Assessment Documentation, P00707 Golden Valley

### 2.3.2 EXTERIOR

The Golden Valley Worker's Accommodation is a simple vernacular style timber framed building with a corrugated steel gable roof. A rendered chimney is located to the center of the roof. The building is enclosed to three sides by corrugated steel sheets and one by sawn timber slabs. The corrugated steel sheets to the external walls are stamped with a 'Trademark Redcliffe' symbol.

The building is located on a skewed axis. For the purpose of this assessment directional information has been simplified to reflect the closest compass point.

#### South Elevation:

The southern elevation is clad with vertical sawn timber slabs approximately 220mm wide by 2100mm high. The vertical timber slabs are spaced evenly along the wall with a 20mm separation gap between each piece. The piece to the south west corner is missing exposing the timber framed structure within. The gable end is clad with matching timber slabs laid horizontally. The main roof structure extends out over the southern facade.

Attached to the southern facade is a timber framed earth-closet with a corrugated steel skillion roof. The external walls are clad with corrugated steel sheets to two sides with a four panel timber door to the eastern elevation. The closet features a damaged timber framed toilet bench seat with timber boards to the top and corrugated sheet to the base.

#### West Elevation:

The western elevation is clad with corrugated steel sheets that feature a faded red patina. The corrugated sheets are considerably warped and damaged with rust to the eave line and base. The facade features two window openings with steel framed mesh grilles. The roof has a slight overhang along the west facade with only a small section of guttering remaining.

#### North Elevation:

The northern elevation is clad with galvanised corrugated steel sheets. The sheets extend to the height of the facade with some overlapping to the gable end. The sheets feature a number of rust

spots and holes. The roof is flush to the facade with steel flashing extending over the wall ridge.

#### East Elevation:

The eastern elevation is clad with corrugated steel sheets that feature a faded red patina. The facade features two door openings with steel mesh gates. The roof has a slight overhang along the west facade with no gutters.

### 2.3.3 INTERIOR

The Worker's Accommodation features two internal rooms separated by a central wall. The interior walls are lined with decorative pressed metal sheeting to dado line (approximately 1350mm high). Above the dado rail the walls are lined with compressed fibrous plaster sheets.

The central wall has a timber framed door way with no attached door at the time of inspection. The southern most room (identified as Room 2) features a rendered brick chimney projecting into the room. The fireplace does not project into the north room (Room 1); however, the location of the fire place is distinguishable due to cracking of the plaster around the fireplace.

The building has no internal ceiling with the timber roof structure and corrugated roof sheets visible internally.

The timber floor is directly laid on the ground. The original extent of the timber floor is unknown. It is partially buried by soil, sand and overgrown grass.

The Worker's Accommodation is currently used for storage.

### 2.3.4 CONDITION

The Golden Valley Worker's Accommodation is considered to be in fair condition. The overall exterior appears to be fair however a number of elements are in poor condition. Further structural assessment will assist in understanding the condition of the substructure.

The following information includes a breakdown of each element:

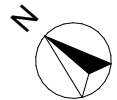
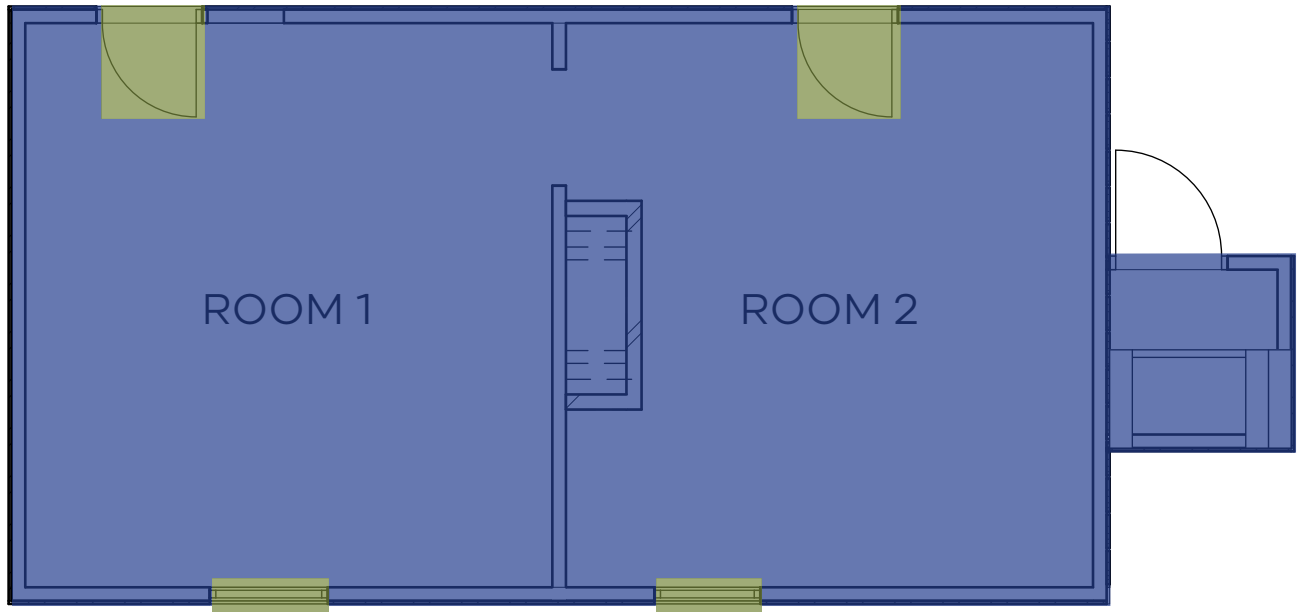
#### **Exterior:**

- **Roof Sheets:** The corrugated steel roof sheets are generally in poor condition with substantial amount of rust and warping. A number of sheets to the north east corner appear to have been replaced. All roof flashings and ridge caps are in poor condition.
- **Corrugated Steel Wall Sheets:** The sheets along the western elevation are in poor condition with rusting to the eave and base levels. All external sheets feature rust spots, holes, dents and warping. The extent of damage varies from each sheet. Thick grass and weeds have accumulated along the base of the external walls.
- **Timber cladding:** Timber appears to be in good condition with some missing sections.
- **Rainwater goods:** A small section of guttering along the western elevation is the only remaining element. The authenticity of this gutter is unknown. The gutter appears to be a later detail.
- **Chimney:** The external section of the chimney is in poor condition. The cement render is damaged exposing the brick structure below. The steel flashing is in poor condition.
- **Doors and windows:** The doors and windows are in fair condition and simply enclosed by steel mesh gates and grills. The timber frames are weathered.
- **Earth Closet:** The external earth closet is in fair condition. The structure appears to be sound however the internal timber bench seat is damaged and missing the top timber structure. The timber door is in fair condition with visible weathering to the paint.



**Interior:**

- Floor: The timber floors are in poor condition. The floors are partially buried by soil, sand and overgrown grass and there is evidence of animal activity (burrows visible). The soil must be removed before the extent of damage is known.
- Walls: The internal wall lining is in poor condition. The pressed metal dado has significant rust damage specifically below the window in Room 2. The fibrous plaster is in poor condition with substantial cracking and large holes, the worst of which is located to the southern wall of Room 1.
- Ceiling: The building has no internal ceiling with the timber roof structure and corrugated roof sheets visible internally. A number of timber rafters are damaged.
- Chimney: The chimney is in very poor condition. The structure is significantly damaged and requires immediate attention. The plaster is damaged and exposed in a number of areas. The bricks beneath have little to no mortar. Existing fireplace has been enclosed to Room 1.
- The internals are significantly cluttered with various farming goods, chemicals, equipment, and wooden frames.



### LEVELS OF SIGNIFICANCE



#### Primary Significance

Building fabric of primary significance. Conserve in accordance with accepted conservation practice.



#### Secondary Significance

Building fabric of secondary significance. Conserve in accordance with accepted conservation practice.



#### Intrusive

Intrusive building fabric. Should be removed in accordance with this Conservation Management Strategy.

## ELEMENTS OF SIGNIFICANCE

### **Primary Significance:**

- The majority of the building is considered to be of primary significance. The existing internal and external materiality is considered to be authentic. The render attached to the chimney may be a later addition however more investigation is required.

### **Secondary Significance:**

- Metal gates to the external doors
- Steel mesh framing to the external windows

### **Intrusive:**

- Without further historical analysis there are no built elements associated with the Golden Valley Worker's Accommodation that are considered to be intrusive. The stored items within the building are considered intrusive and should be removed. The build up of soil, sand and overgrown grass is considered intrusive and forms part of the maintenance schedule.

While some historical information is provided on the Workers' Accommodation, there is limited information provided on the authenticity of the built fabric. Further research by a qualified historian will be useful to uncover any additional information on the building's history, direct conservation details and provide more content for interpretation.

For the purpose of this CMS, the Heritage Consultants have therefore taken the approach that all fabric is considered significant until information is uncovered that proves otherwise.

While the building fabric is considered significant, the humble nature of this c1880s cottage is also taken into consideration. Besides from the internal pressed tin and plaster, the building evidently was constructed using simple materials and construction techniques to meet a rudimentary shelter and housing need.

The conservation approach is therefore careful not to introduce details and conservation measures that over embellish the basic nature of the building. An end use has also been considered when proposing these conservation measures. Currently the building is used for storage. Unfortunately, the stored items are considered intrusive and are detracting from the significance of the place. These items are cluttering the interior and allowing a degree of animal activity to occur undetected. Removing the stored items from the building is therefore recommended to increase the ability to monitor the condition of the interior.

The ability to enter and observe the building's interior gives opportunity for people to appreciate the significance of the place. A future use that does this is encouraged. A 'museum like' level of conservation and interpretation is considered unsuited for this building. This building provided essentially a modest shelter and potentially could be utilised as such again for visitors to the park or hikers venturing on the Bibbulman Track.

The conservation items proposed, therefore focus on:

- Structural stability
- General safety to visitors
- Drainage and weather protection

- Reducing animal activity, damage and vegetation growth
- Methods to protect the original building fabric and introduce new fabric when only absolutely necessary
- Ability to interpret and encourage greater understanding of the cultural heritage significance of the place.

#### 4.1 RECOMMENDED CONSERVATION WORKS SCHEDULE

The following works schedule should be undertaken to ensure the building fabric is maintained and conserved.

The works are prioritised in the following sub-sections:

- 4.1.1 Immediate Action
- 4.1.2 Short Term Action
- 4.1.3 Medium Term Action
- 4.1.4 Long Term Action

Following consultation with an engineer, further conservation works may be added to the below scope.

##### 4.1.1 IMMEDIATE ACTION

Definition: *Works required to prevent serious disruption of activities and/or may incur higher costs if not addressed within 1 year.*

- Structural Engineer to assess the stability and adequacy of the load bearing structures, chimney, footings, and sub-floor structures. Outcomes arising from this assessment should inform further Immediate and Urgent works.
- Engage a material scientist to analyse the existing materials. Confirm composition of internal fibrous plaster, internal and external render to chimney.
- Following recommendations from engaged Structural Engineer, repair works to roof trusses to be addressed and implemented.



- Following recommendations from engaged Structural Engineer, repair and repoint bricks to chimney. Remove loose render and re-render with soft lime render.
- Clear all items and materials being stored in the Worker's Accommodation that are not related to the building. Store any significant items in a safe secure place.
- Remove build up of soil, sand and grass from the interior rooms and gently clean all debris from the floor area. Allow for soil to be returned and compacted once sub structure inspected. Existing floor boards and joists to be stored in a weather tight, safe location. Flooring to be marked for reinstatement.
- Control animal activity and remove wasp nests and burrows evident.

#### 4.1.2 SHORT TERM ACTION

Definition: *Works that need to be addressed between 1-2 years to prevent serious deterioration.*

- Remove grass and soil around perimeter of building. Increase existing trench around perimeter to allow for sufficient runoff. Ground levels to slope away from the building. Install a blue metal breathing strip with a weed proof fabric membrane and agricultural drain to the building perimeter. Install brick drain along western side (drain to fall south to north).
- Enclose and secure all external doors and windows. Ensure the building is lockable during conservation works period.
- Repair, flatten and refix existing corrugated roof sheets. Where evidence of water ingress, overlap new corrugated steel sheets to existing sheets and/or patch with new galvanised corrugated sheeting. Allow for approximately 3 replacement sheets total. Check fixings and secureness of roof to earth closet.
- Existing ridge capping to be removed and replaced. Replace all existing flashings to roof and chimney. Replace capping to chimney to prevent water ingress. New flashings and capping to match existing (galvanised). Install galvanised capping to the roof to reduce safety risk of sharp edges to sheets.

- External corrugated wall sheets are to be retained and repaired where necessary. Western elevation wall sheets to be removed, repaired, flattened and reinstalled. Install a sacrificial galvanised flashing sheet to the base of the exterior wall as protection measure for existing built fabric. Sharp edges to the sheets to receive galvanised capping to reduce safety risk.
- Provide galvanised capping to ends of rafters (weather protection to exposed timber ends). Clean timber structure with wire brush and oil.

#### 4.1.3 MEDIUM TERM ACTION

Definition: *Works likely to require rectification within 3 years.*

- Sub-floor works to be addressed and implemented as per the recommendations of structural engineer. Install timber joists and floorboards to match existing. Reinstate existing where possible. Allow to introduce galvanised steel stirrups to have timber raised from ground. Allow to oil timber floorboards.
- Replace missing timber board to southwest corner and repair additional timber boards to southern elevation. Apply timber oil finish to boards.
- Undertake patch repairs to internal plaster. Pin back plaster to timber frame. Paint to match existing.
- Clean existing pressed metal dado and ensure adequately attached to timber frame. Consider new simple detailing to damaged dado. Retain as much pressed metal material as possible.
- Remove additional metal sheets and reinstate fire place to Room 1.
- Repair internal timber door frame. Approach to external door and windows to be confirmed when future use of the building is determined. Timber ledged and braced doors considered appropriate to exterior. Install glazed timber framed windows to west elevation.

#### 4.1.4 LONG TERM ACTION

Definition: *Works that can be safely and economically deferred beyond 3 years.*

- Engage an Architectural Historian to further investigate the cultural heritage significance of the Worker's Accommodation.
- Repair and reinstate bench seat to earth closet.
- Install interpretative plaques to site.
- Install furniture to cater for proposed future use
- External lighting scheme.

#### 4.2 RECOMMENDED MAINTENANCE WORKS SCHEDULE

It is important that maintenance be carried out on a regular basis, and that any remedial action required be acted upon within an appropriate time frame.

When implemented, the following schedule of maintenance works will ensure the upkeep of the place is programmed.

##### Three Monthly

- Ensure that all maintenance is recorded and referenced to the specific work undertaken, date of work and the specific location of the work. This should preferably be completed and stored electronically.
- Check security; repair door locks as required.
- Check for evidence of animal or pest activity and treat as required.
- Ensure that the interior remains relatively clean by having a regular cleaning program.

##### Annually

- Undertake termite and other pest treatment.
- Check condition of walls and roofs; repair as required.
- Check all drainage; repair as required.
- Check base of timbers for signs of deterioration or rot (could be a sign of water ingress). Address source of water ingress and repair rotten timber.

- Check subfloor structure and undertake repairs as required.
- Monitor timber floors and undertake repairs as required.

##### Long Term





- Review this conservation management strategy every five years or after a major program of works.
- Consider a structural assessment every ten years if required.




# Building Condition Assessment Report

<b>Place Name</b>	Golden Valley Worker's Accommodation
<b>Place Number</b>	00707
<b>Address</b>	Lot 11, 164 Old Padbury Road, Balingup
<b>Date of Inspection</b>	15 August, 2022


Condition Rating Codes		
RATING	STATUS	DEFINITION OF RATING
A	Excellent	<ul style="list-style-type: none"> <li>No defects</li> <li>As new condition and appearance</li> </ul>
B	Good	<ul style="list-style-type: none"> <li>Minor deterioration</li> <li>Superficial wear and tear</li> <li>Major maintenance not required</li> </ul>
C	Fair	<ul style="list-style-type: none"> <li>Damaged</li> <li>Worn finishes require maintenance</li> <li>Services are functional but need attention</li> </ul>
D	Poor	<ul style="list-style-type: none"> <li>Failed but retrievable</li> <li>Badly deteriorated</li> <li>Potential structural problems</li> </ul>
E	Very Poor	<ul style="list-style-type: none"> <li>Failed and not retrievable</li> <li>Not operational</li> <li>Unfit for occupancy or normal use</li> </ul>

Priority Ranking Scale		
RATING	STATUS	DEFINITION OF RATING
1	Immediate Action	Works required to prevent serious disruption of activities and/or may incur higher costs if not addressed within 1 year.
2	Short Term	Works that need to be addressed between 1-2 years to prevent serious deterioration.
3	Medium Term	Works likely to require rectification within 3 years.
4	Long Term	Works that can be safely and economically deferred beyond 3 years.





ITEM/ LOCATION	DEFECT DESCRIPTION	CONDITION	PROPOSED WORKS	PRIORITY	PHOTOGRAPH
<b>EXTERNALS</b>					
<b>ROOF</b>					
ROOF SHEETS (WEST)	<ul style="list-style-type: none"> <li>The corrugated steel roof sheets are in poor condition with a substantial amount of rust and warping.</li> </ul>	Poor	<ul style="list-style-type: none"> <li>Repair, flatten and refix existing corrugated roof sheets</li> <li>Lap new sheets over damaged sheets (allow for approximately 3 new sheets)</li> </ul>	2	
ROOF SHEETS (EAST)	<ul style="list-style-type: none"> <li>The corrugated steel roof sheets are in poor condition towards the southern end with a substantial amount of rust and warping.</li> <li>Some sheets towards the north appear newer</li> </ul>	Fair-Poor	<ul style="list-style-type: none"> <li>Repair, flatten and refix existing corrugated roof sheets</li> <li>Lap new sheets over damaged sheets (allow for approximately 3 new sheets)</li> </ul>	2	
FLASHINGS AND CAPPINGS	<ul style="list-style-type: none"> <li>Northern section of ridge capping is rusted and damaged</li> <li>Flashing to northern elevation is a piece of corrugated sheet</li> </ul>	Poor	<ul style="list-style-type: none"> <li>Remove all existing ridge capping install new galvanised ridge capping</li> <li>Repair flashing to northern wall ridge</li> </ul>	2	
RAINWATER GOODS	<ul style="list-style-type: none"> <li>Small section of damaged guttering located along the western side of the building.</li> </ul>	Poor	<ul style="list-style-type: none"> <li>Remove section of existing guttering</li> <li>Do not reinstate rainwater goods</li> </ul>	2	




ITEM/ LOCATION	DEFECT DESCRIPTION	CONDITION	PROPOSED WORKS	PRIORITY	PHOTOGRAPH
CHIMNEY	<ul style="list-style-type: none"> <li>Damaged render with exposed brickwork to the north and south sides</li> <li>Existing flashings are in very poor condition</li> </ul>	Poor	<ul style="list-style-type: none"> <li>Remove existing flashing and replace with new appropriate under and over flashing</li> <li>Remove loose render (confirm render material)</li> <li>Render material to be tested</li> <li>Repair damaged brick and re-render chimney following testing</li> <li>New capping to chimney top to prevent water ingress</li> </ul>	1	
<b>EXTERNAL WALLS</b>					
NORTH ELEVATION	<ul style="list-style-type: none"> <li>North wall clad with corrugated sheets</li> <li>The sheets feature a number of rust spots and holes</li> <li>Base of sheets are impacted by the overgrown grass and soil</li> </ul>	Fair	<ul style="list-style-type: none"> <li>Retain existing corrugated steel wall sheets</li> <li>Repair flashing to wall ridge</li> <li>Sharp edges to receive galvanised capping</li> <li>New protective flashing to base of wall</li> <li>Remove grass around base</li> </ul>	2	
EAST ELEVATION	<ul style="list-style-type: none"> <li>The eastern elevation is clad with corrugated steel sheets that feature a faded red patina</li> <li>The sheets are warped in places with some damage and rust along the base</li> </ul>	Fair	<ul style="list-style-type: none"> <li>Retain existing corrugated steel wall sheets</li> <li>Repair where necessary</li> <li>Sharp edges to receive galvanised capping</li> <li>New protective flashing to base of wall</li> <li>Remove grass around base</li> </ul>	2	






ITEM/ LOCATION	DEFECT DESCRIPTION	CONDITION	PROPOSED WORKS	PRIORITY	PHOTOGRAPH
SOUTH ELEVATION	<ul style="list-style-type: none"> <li>The timber boards are in relatively good condition however there is visible crack with a missing board in the south-west corner</li> <li>The exposed roof rafters are in poor condition and significantly weathered</li> </ul>	Fair	<ul style="list-style-type: none"> <li>Replace missing timber board to south-west corner</li> <li>Apply timber oil mix for protection of timber</li> <li>Repair exposed rafters</li> <li>Remove grass around base</li> </ul>	2	
WEST ELEVATION	<ul style="list-style-type: none"> <li>The western elevation is clad with corrugated steel sheets that feature a faded red patina. The corrugated sheets are considerably warped and damaged with rust to the eave line and base.</li> </ul>	Poor	<ul style="list-style-type: none"> <li>Remove corrugated sheets to west elevation</li> <li>Repair, flatten and refix existing wall sheets</li> <li>Sharp edges to receive galvanised capping</li> <li>New protective flashing to base of wall</li> <li>Remove grass around base</li> </ul>	2	
<b>DOORS &amp; WINDOWS</b>					
DOOR 1 (NORTH EAST)	<ul style="list-style-type: none"> <li>Existing steel gate door is in fair condition however does not mitigate weathering, debris or animals</li> <li>Opening above door</li> </ul>	Fair	<ul style="list-style-type: none"> <li>Repair timber door frame</li> <li>Enclose and/or secure door</li> <li>Consider new ledged and braced door</li> </ul>	2,3	
DOOR 2 (SOUTH EAST)	<ul style="list-style-type: none"> <li>Existing steel gate door is in fair condition however does not mitigate weathering, debris or animals</li> </ul>	Fair	<ul style="list-style-type: none"> <li>Repair timber door frame</li> <li>Enclose and/or secure door</li> <li>Consider new ledged and braced door</li> </ul>	2,3	









ITEM/ LOCATION	DEFECT DESCRIPTION	CONDITION	PROPOSED WORKS	PRIORITY	PHOTOGRAPH
WINDOW 1 (NORTH WEST)	<ul style="list-style-type: none"> <li>Window enclosed by steel grill</li> <li>Timber frame and sill in poor condition</li> <li>Damaged corrugated steel sheets surrounding windows</li> </ul>	Poor	<ul style="list-style-type: none"> <li>Repair timber frame and window sill</li> <li>Repair steel grill</li> <li>Enclose and/ or secure opening</li> </ul>	2	
WINDOW 2 (SOUTH WEST)	<ul style="list-style-type: none"> <li>Window enclosed by steel grill</li> <li>Timber frame and sill in poor condition</li> <li>Damaged corrugated steel sheets surrounding windows</li> </ul>	Poor	<ul style="list-style-type: none"> <li>Remove chicken wire to window</li> <li>Repair timber frame and window sill</li> <li>Repair steel grill</li> <li>Enclose and/ or secure opening</li> </ul>	2	
<b>EARTH CLOSET</b>					
ROOF SHEETS	<ul style="list-style-type: none"> <li>Roof sheets folding and warping towards the edges</li> </ul>	Fair	<ul style="list-style-type: none"> <li>Check fixings and secure roof sheets</li> </ul>	2	
WALLS	<ul style="list-style-type: none"> <li>Corrugated steel wall sheets to south and western walls appear in relatively good condition</li> <li>Timber boards to eastern side are weathered</li> </ul>	Fair	<ul style="list-style-type: none"> <li>Repair where necessary</li> <li>Enclose opening above door with timber piece secured internally</li> <li>Apply timber oil mix for protection of timber</li> <li>Remove grass around base</li> <li>New protective flashing to base of wall</li> </ul>	2	




ITEM/ LOCATION	DEFECT DESCRIPTION	CONDITION	PROPOSED WORKS	PRIORITY	PHOTOGRAPH
DOOR	<ul style="list-style-type: none"> <li>Timber door is in fair condition with visible weathering to the paint.</li> </ul>	Fair	<ul style="list-style-type: none"> <li>Enclose opening above door with timber piece secured internally</li> <li>Repair and patch damage to door</li> <li>Door to be made secure</li> </ul>	2	
<b>LANDSCAPE</b>					
PERIMETER GRASS	<ul style="list-style-type: none"> <li>The perimeter walls of the building have over grown grass and build up of soil which is increasing damage to steel walls</li> </ul>	Poor	<ul style="list-style-type: none"> <li>Remove grass and soil around perimeter of building</li> <li>Install protective flashing to base of walls</li> </ul>	1	
TRENCH (WEST)	<ul style="list-style-type: none"> <li>Existing trench along the western side is insufficient to prevent water runoff and damage to the base of the building</li> </ul>	Fair	<ul style="list-style-type: none"> <li>Increase trench around perimeter of the building to allow for runoff</li> <li>Install brick drain along western side (drain to fall south to north)</li> </ul>	1	

ITEM/ LOCATION	DEFECT DESCRIPTION	CONDITION	PROPOSED WORKS	PRIORITY	PHOTOGRAPH
<b>INTERIOR</b>					
<b>ROOM 1</b>					
FLOOR	<ul style="list-style-type: none"> <li>Internal floor boards are in very poor condition</li> <li>The floors are partially buried by soil, sand and overgrown grass and there is evidence of animal activity (burrows visible).</li> </ul>	Poor	<ul style="list-style-type: none"> <li>Gently remove all soil, sand and overgrown grass</li> <li>Assess timber sub structure</li> <li>Earth to be recompacted to the interior</li> <li>Timber floor boards to be reinstated on top in sections</li> </ul>	1,3	
SKIRTING	<ul style="list-style-type: none"> <li>Skirting is visible to some areas however is damaged and missing in other areas</li> </ul>	Fair-Poor	<ul style="list-style-type: none"> <li>Gently remove all soil, sand and overgrown grass to reveal extent of skirting</li> <li>Existing skirting to be repaired</li> <li>Damaged skirting to be replaced</li> </ul>	3	
WALL (EAST)	<ul style="list-style-type: none"> <li>Missing internal wall cladding adjacent to door</li> <li>Damage to pressed metal dado</li> <li>Damage to fibrous plaster wall sheets</li> </ul>	Poor	<ul style="list-style-type: none"> <li>Consider new simple detailing to damaged dado</li> <li>Retain as much pressed metal dado material as possible</li> <li>Repair patch and paint plaster walls to match</li> <li>Repair and replace missing wall plate</li> </ul>	3	





ITEM/ LOCATION	DEFECT DESCRIPTION	CONDITION	PROPOSED WORKS	PRIORITY	PHOTOGRAPH
WALL (SOUTH)	<ul style="list-style-type: none"> <li>Central wall significantly impacted by damage to chimney</li> <li>Significant damage to fibrous plaster walls</li> <li>Metal sheet appears to be enclosing former fireplace</li> </ul>	Poor	<ul style="list-style-type: none"> <li>Address and repair damaged brick work to chimney</li> <li>Remove additional metal sheets to base of wall and reinstate fire place</li> <li>Retain as much pressed metal dado material as possible</li> <li>Repair patch and paint plaster walls to match</li> <li>Repair timber door frame</li> </ul>	1,2,3	
WALL (WEST)	<ul style="list-style-type: none"> <li>Damage to pressed metal dado</li> <li>Damage to fibrous plaster wall sheets above and below window</li> <li>Window frame, sill and metal grill is damaged</li> </ul>	Poor	<ul style="list-style-type: none"> <li>Repair window frame, sill and metal grill</li> <li>Enclose and/ or secure opening (consider new glass window)</li> <li>Consider new simple detailing to damaged dado</li> <li>Retain as much pressed metal dado material as possible</li> <li>Repair patch and paint plaster walls to match</li> </ul>	2,3	
WALL (NORTH)	<ul style="list-style-type: none"> <li>Damage to pressed metal dado</li> <li>Damage to fibrous plaster wall sheets</li> </ul>	Fair-Poor	<ul style="list-style-type: none"> <li>Consider new simple detailing to damaged dado</li> <li>Retain as much pressed metal dado material as possible</li> <li>Repair patch and paint plaster walls to match</li> </ul>	3	

ITEM/ LOCATION	DEFECT DESCRIPTION	CONDITION	PROPOSED WORKS	PRIORITY	PHOTOGRAPH
CEILING/ ROOF STRUCTURE	<ul style="list-style-type: none"> <li>Some damaged timber rafters to western ceiling structure</li> <li>Ceiling has at one point been removed</li> </ul>	Fair	<ul style="list-style-type: none"> <li>Repair and replace damaged timber rafters</li> <li>Repair existing wall plate along eastern wall</li> <li>Clean existing structure and retain exposed ceiling</li> </ul>	1	
<b>ROOM 2</b>					
FLOOR	<ul style="list-style-type: none"> <li>Internal floor boards are in very poor condition</li> <li>The floors are partially buried by soil, sand and overgrown grass and there is evidence of animal activity (burrows visible).</li> </ul>	Poor	<ul style="list-style-type: none"> <li>Gently remove all soil, sand and overgrown grass</li> <li>Assess timber sub structure</li> <li>Earth to be recompactd to the interior</li> <li>Timber floor boards to be reinstated on top in sections</li> </ul>	1,3	
SKIRTING	<ul style="list-style-type: none"> <li>Skirting is visible to some areas however is damaged and missing in other areas</li> </ul>	Fair-Poor	<ul style="list-style-type: none"> <li>Gently remove all soil, sand and overgrown grass to reveal extent of skirting</li> <li>Existing skirting to be repaired</li> <li>Damaged skirting to be replaced</li> </ul>	3	

ITEM/ LOCATION	DEFECT DESCRIPTION	CONDITION	PROPOSED WORKS	PRIORITY	PHOTOGRAPH
WALL (EAST)	<ul style="list-style-type: none"> <li>Missing internal wall cladding adjacent to door</li> <li>Damage to pressed metal dado</li> <li>Damage to fibrous plaster wall sheets</li> </ul>	Fair-Poor	<ul style="list-style-type: none"> <li>Consider new simple detailing to damaged dado</li> <li>Retain as much pressed metal dado material as possible</li> <li>Repair patch and paint plaster walls to match</li> <li>Repair and replace missing wall plate</li> </ul>	3	
WALL (SOUTH)	<ul style="list-style-type: none"> <li>Damage to pressed metal dado</li> <li>Damage to fibrous plaster wall sheets</li> </ul>	Poor	<ul style="list-style-type: none"> <li>Consider new simple detailing to damaged dado</li> <li>Retain as much pressed metal dado material as possible</li> <li>Repair patch and paint plaster walls to match</li> </ul>	3	
WALL (WEST)	<ul style="list-style-type: none"> <li>Damage to pressed metal dado</li> <li>Damage to fibrous plaster wall sheets above and below window</li> <li>Window frame, sill and metal grill is damaged</li> </ul>	Poor	<ul style="list-style-type: none"> <li>Repair window frame, sill and metal grill</li> <li>Enclose and/ or secure opening (consider new glass window)</li> <li>Consider new simple detailing to damaged dado</li> <li>Retain as much pressed metal dado material as possible</li> <li>Repair patch and paint plaster walls to match</li> </ul>	3	



ITEM/ LOCATION	DEFECT DESCRIPTION	CONDITION	PROPOSED WORKS	PRIORITY	PHOTOGRAPH
WALL (NORTH)	<ul style="list-style-type: none"> <li>Central wall significantly impacted by damage to chimney</li> <li>The chimney is in very poor condition.</li> <li>The structure is significantly damaged and requires immediate attention.</li> <li>The render is damaged and exposed in a number of areas.</li> <li>The bricks beneath have little to no mortar.</li> </ul>	Very Poor	<ul style="list-style-type: none"> <li>Structural assessment</li> <li>Remove existing render</li> <li>Structurally secure and repoint brickwork</li> <li>Re-render chimney with soft lime render</li> <li>Consider new simple detailing to damaged dado</li> <li>Retain as much pressed metal dado material as possible</li> <li>Repair patch and paint plaster walls to match</li> </ul>	1	
CEILING/ ROOF STRUCTURE	<ul style="list-style-type: none"> <li>Some damaged timber rafters to western ceiling structure</li> <li>Ceiling has at one point been removed</li> </ul>	Fair	<ul style="list-style-type: none"> <li>Repair and replace damaged timber rafters</li> <li>Repair existing wall plate along eastern wall</li> <li>Clean existing structure and retain exposed ceiling</li> </ul>	1	

- RETAIN EXISTING CORRUGATED STEEL WALL SHEETS
- REPAIR WHERE NECESSARY
- SHARP EDGES TO RECEIVE GALVANISED CAPPING
- INSTALL PROTECTIVE FLASHING TO BASE OF WALL SHEETS
- REMOVE GRASS AROUND BASE

- REPAIR TIMBER DOOR FRAME
- ENCLOSE AND SECURE DOOR
- CONSIDER NEW LEDGED AND BRACED DOOR

- RETAIN EXISTING CORRUGATED STEEL WALL SHEETS
- REPAIR FLASHING TO WALL RIDGE
- SHARP EDGES TO RECEIVE GALVANISED CAPPING
- INSTALL PROTECTIVE FLASHING TO BASE OF WALL SHEETS
- REMOVE GRASS AROUND BASE

- REPAIR DAMAGE TO INTERNAL WALL LINING (SEE INTERNAL ELEVATIONS)

- CLEAR ALL ITEMS BEING STORED IN BUILDING (SAFELY STORE ANY SIGNIFICANT ITEMS)
- REMOVE BUILD UP OF SOIL, SAND AND GRASS TO INTERIOR ROOMS
- ENGINEER TO ASSESS SUB-STRUCTURE AND JOISTS TO BE SAFELY STORED AND MARKED
- SUB FLOOR WORKS TO BE ADDRESSED AS PER ENGINEER REPORT
- INSTALL NEW TIMBER JOISTS AND FLOORBOARDS TO MATCH EXISTING
- ALLOW TO OIL TIMBER FLOORBOARDS

- REMOVE GRASS AND SOIL AROUND PERIMETER OF BUILDING
- INCREASE EXISTING TRENCH TO PERIMETER TO ALLOW FOR RUNOFF (GROUND LEVELS TO SLOPE AWAY FROM THE BUILDING)
- INSTALL A BLUE METAL BREATHING STRIP TO BUILDING PERIMETRE
- INSTALL BRICK DRAIN TO WESTERN SIDE (DRAIN TO FALL SOUTH TO NORTH)

- STRUCTURAL ENGINEER TO ASSESS CHIMNEY
- STRUCTURALLY SECURE AND REPOINT BRICKWORK
- RENDER MATERIAL TO BE TESTED
- REPAIR DAMAGED RENDER FOLLOWING TESTING

- REPAIR TIMBER DOOR FRAME
- ENCLOSE AND SECURE DOOR
- CONSIDER NEW LEDGED AND BRACED DOOR

- REPAIR TIMBER BOARDS WHERE NECESSARY
- APPLY TIMBER OIL FINISH TO BOARDS
- REMOVE GRASS AROUND BASE

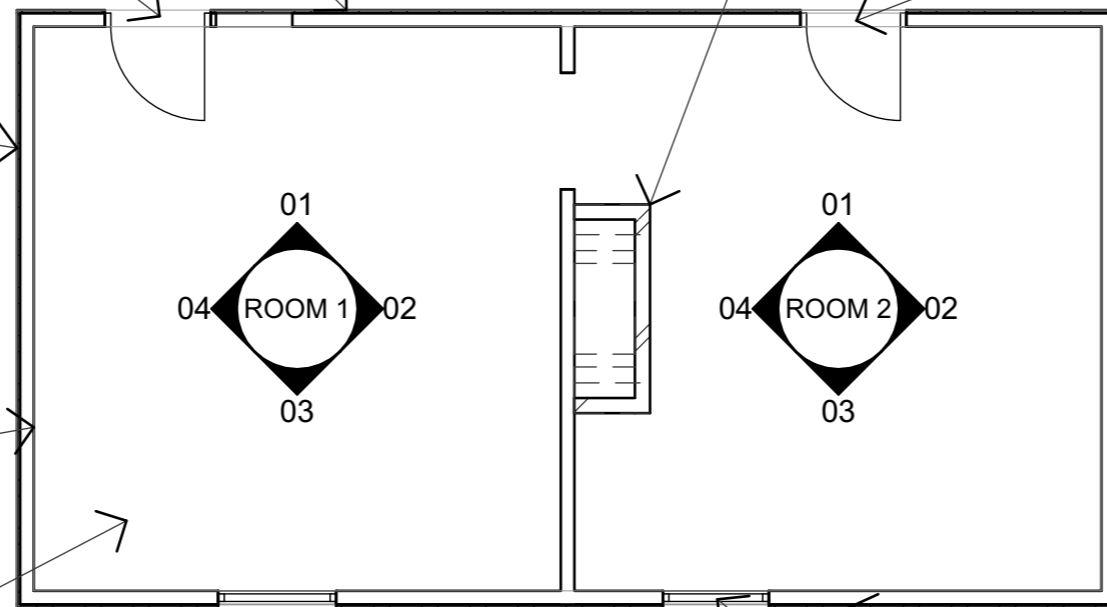
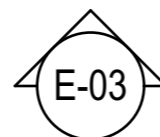
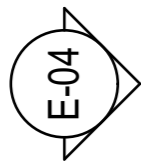
- ENCLOSE OPENING ABOVE DOOR, TIMBER PIECE TO BE INTERNALLY SECURED
- REPAIR AND PATCH DAMAGE TO DOOR
- DOOR TO BE MADE SECURE

- REMOVE DEBRIS IN EARTH CLOSET
- REPAIR AND REINSTATE BENCH SEAT

- REPLACE MISSING TIMBER BOARD TO SOUTH-WEST CORNER OF BUILDING

- REMOVE CORRUGATED SHEETS TO WEST ELEVATION
- REPAIR, FLATTEN AND REFIX EXISTING WALL SHEETS
- SHARP EDGES TO RECEIVE GALVANISED CAPPING
- INSTALL PROTECTIVE FLASHING TO BASE OF WALL SHEETS
- REMOVE GRASS AROUND BASE

- REMOVE CHICKEN WIRE TO WINDOWS
- REPAIR WINDOW SILL AND STEEL GRILL
- ENCLOSE AND SECURE OPENING



DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION.

**NOTES - GENERAL**

G.1 DRAWINGS TO BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANT DRAWINGS AND SPECIFICATIONS

G.2 ALL DISCREPANCIES SHALL BE REFERRED TO THE ENGINEER FOR A DECISION PRIOR TO PROCEEDING WITH THE WORK

G.3 ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK

G.4 BUILDER OR CONTRACTOR SHALL ENSURE ALL WORK COMPLIES WITH THE LATEST AS CODES AND AMENDMENTS

G.5 DRAWINGS TO BE READ IN CONJUNCTION WITH ALL SCHEDULES AND SPECIFICATIONS

**Golden Valley Tree Park**

Project No. 7341

164 OLD PADBURY ROAD,  
BALINGUP WA 6253

**Existing Floor Plan**

**1**

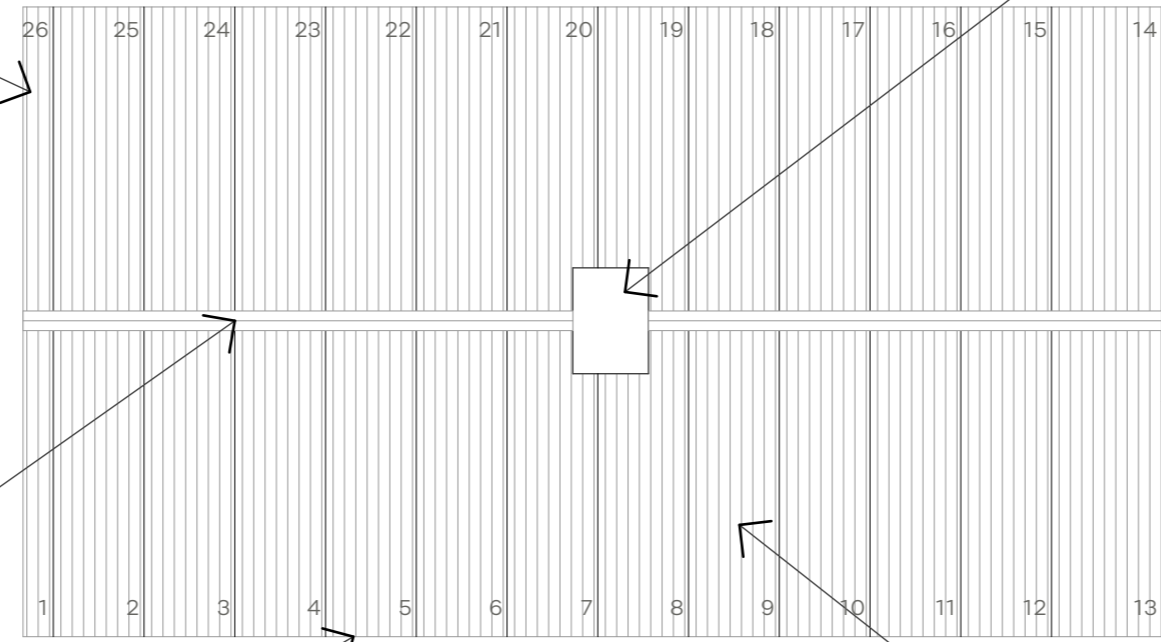
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E-01

- REMOVE EXISTING FLASHING REPLACE WITH NEW APPROPRIATE UNDER AND OVER FLASHING
- REMOVE LOOSE RENDER (CONFIRM RENDER MATERIAL)
- RENDER MATERIAL TO BE TESTED
- REPAIR DAMAGED BRICK
- REPAIR DAMAGED RENDER FOLLOWING TESTING
- NEW CAPPING TO CHIMNEY TOP FOR WATER INGRESS

- REPAIR FLASHING TO NORTHERN WALL RIDGE
- SHARP EDGES TO RECEIVE GALVANISED CAPPING



E-04

- REMOVE EXISTING RIDGE CAPPING
- INSTALL NEW GALVANISED RIDGE CAPPING

E-02

- CHECK FIXINGS AND SECURE ROOF SHEETS

- REMOVE SECTION OF EXISTING GUTTERING

E-03

- REPAIR, FLATTEN AND REFIX EXISTING CORRUGATED ROOF SHEETS
- LAP NEW SHEETS OVER DAMAGED SHEETS (ALLOW FOR APPROX. 3 NEW SHEETS)



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**Golden Valley Tree Park**

Project No. 7341

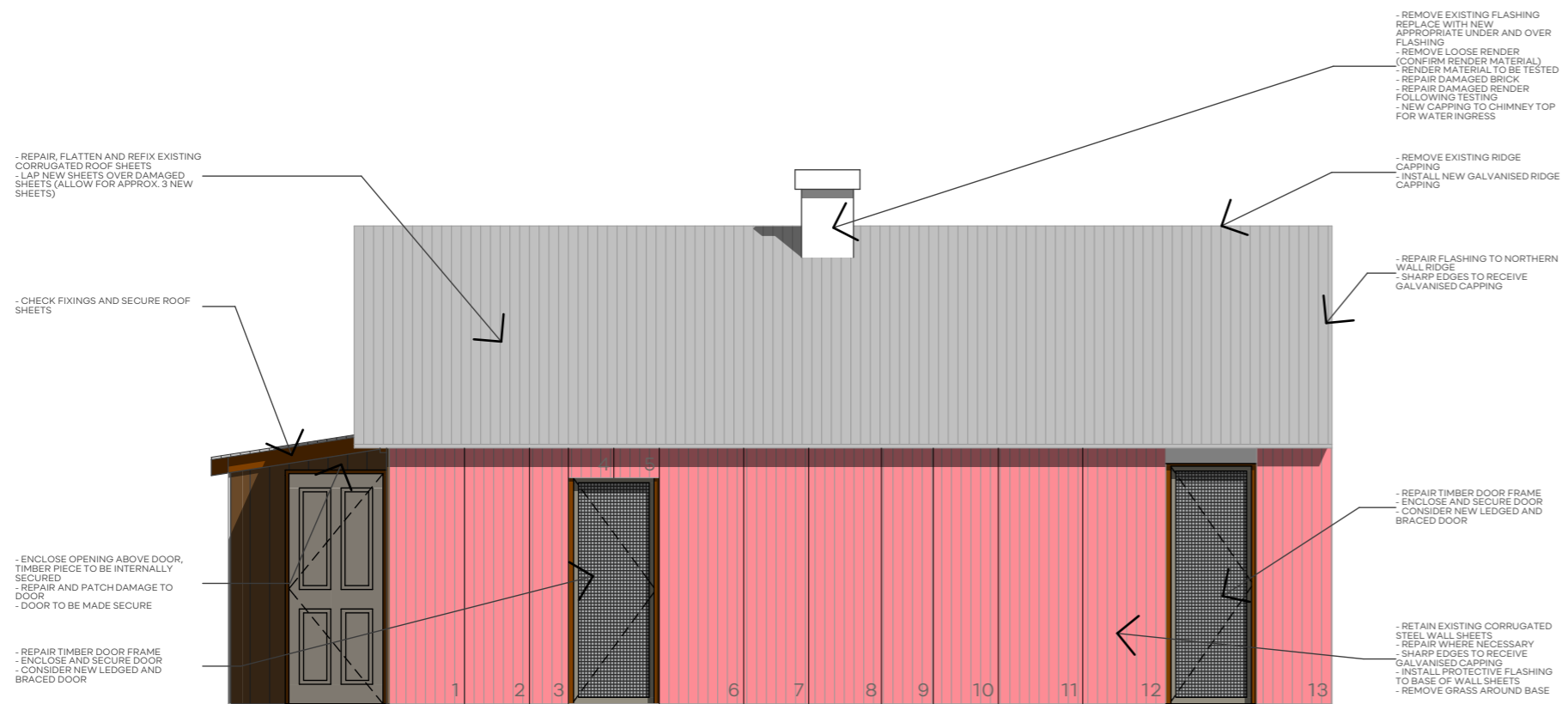
164 OLD PADBURY ROAD,  
BALINGUP WA 6253

**Existing Roof Plan**

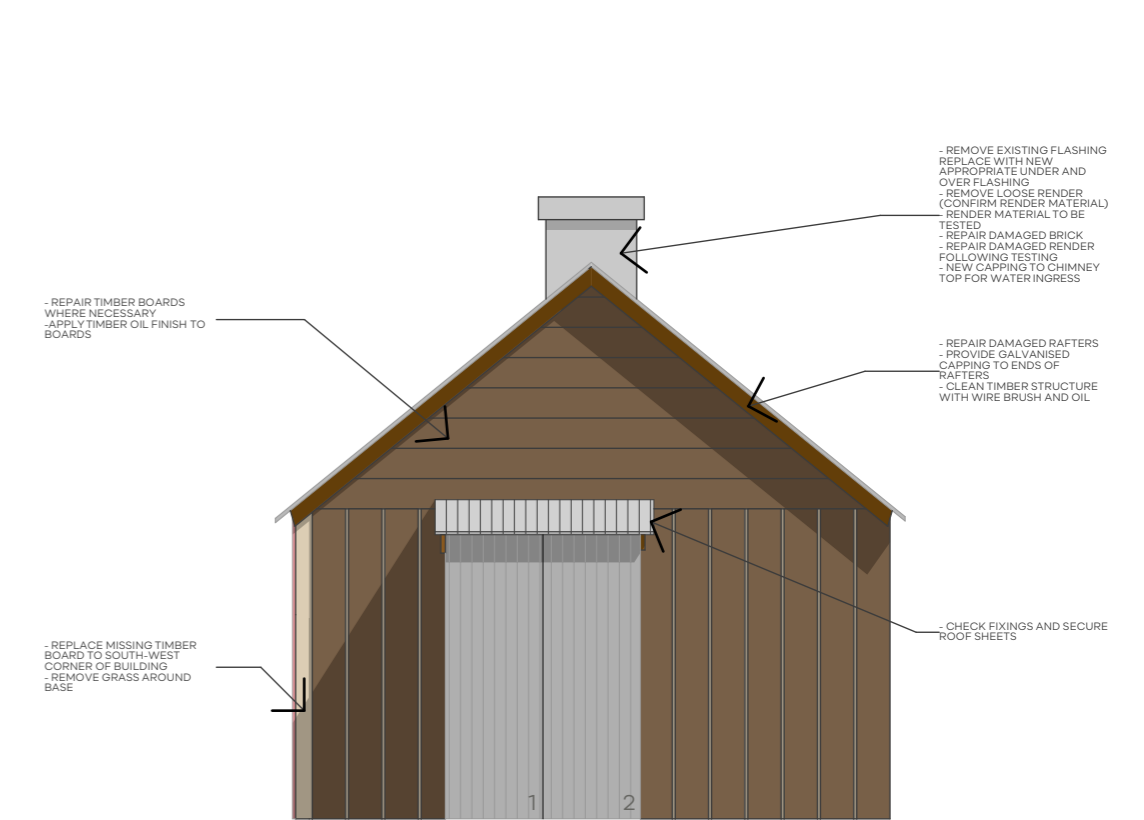
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E-01 EAST ELEVATION 1:50



E-02 SOUTH ELEVATION 1:50

**NOTES - GENERAL**

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164 OLD PADBURY ROAD,  
BALINGUP WA 6253

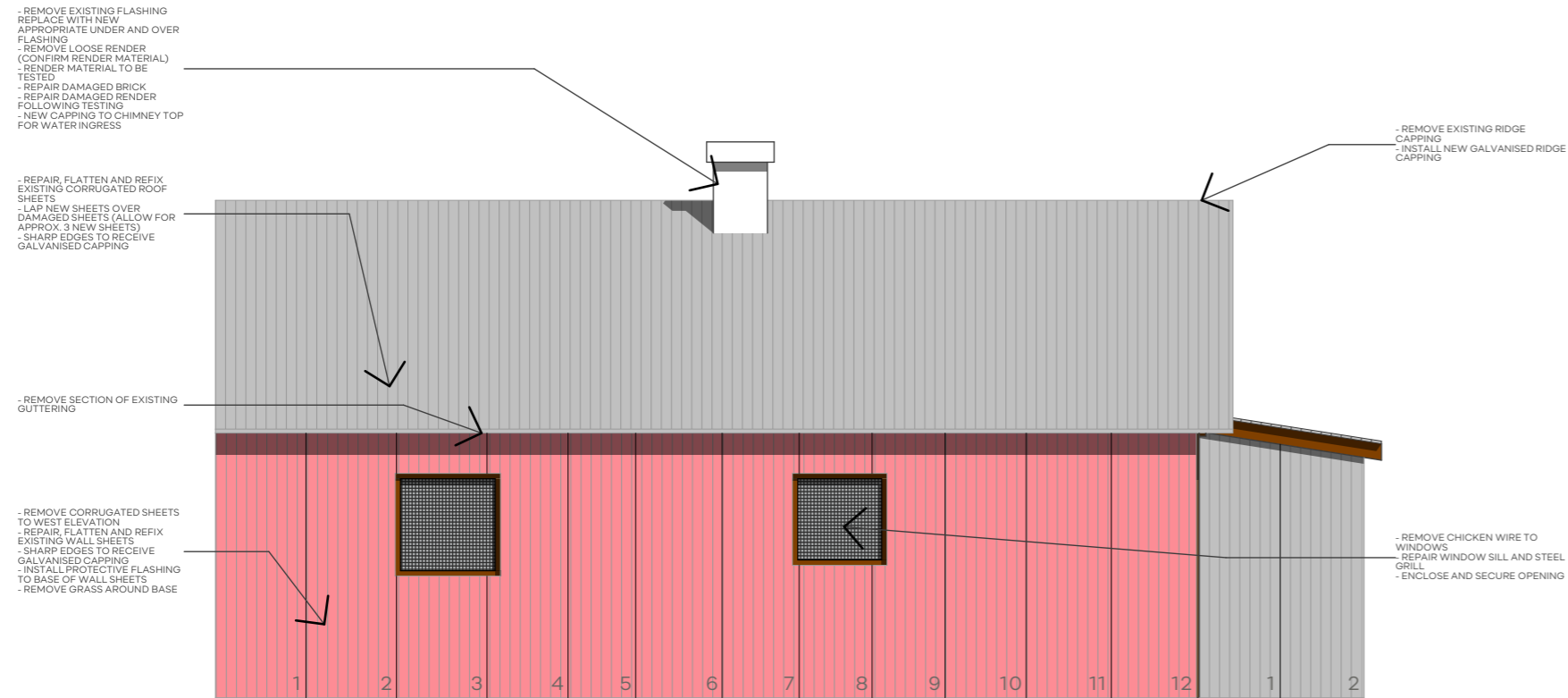
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Existing Elevations

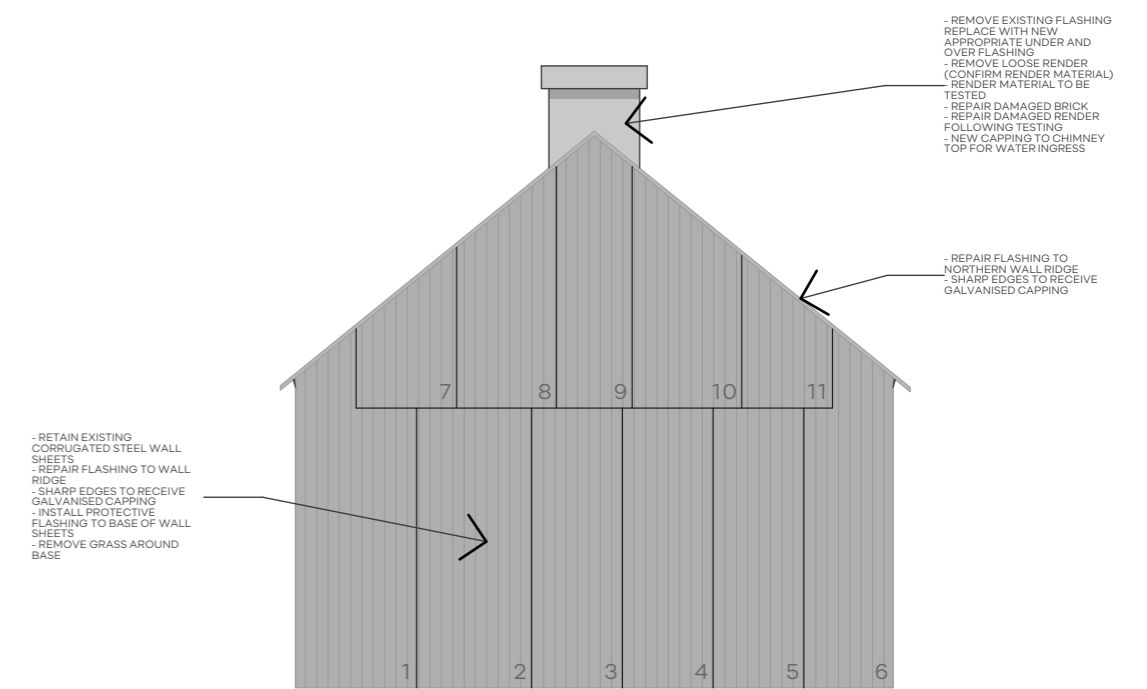
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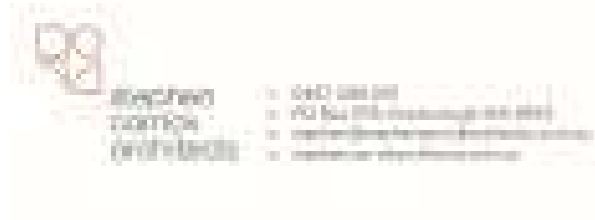




E-03 WEST ELEVATION  
1:50



E-04 NORTH ELEVATION  
1:50



**NOTES - GENERAL**

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**Golden Valley Tree Park**

Project No. 7341

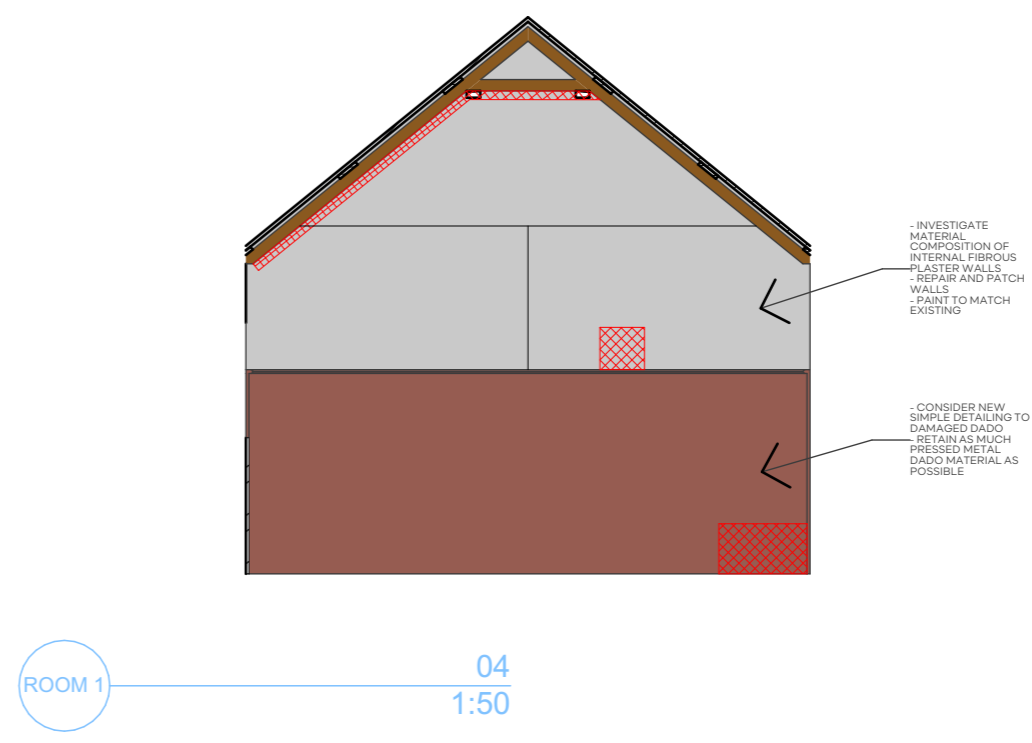
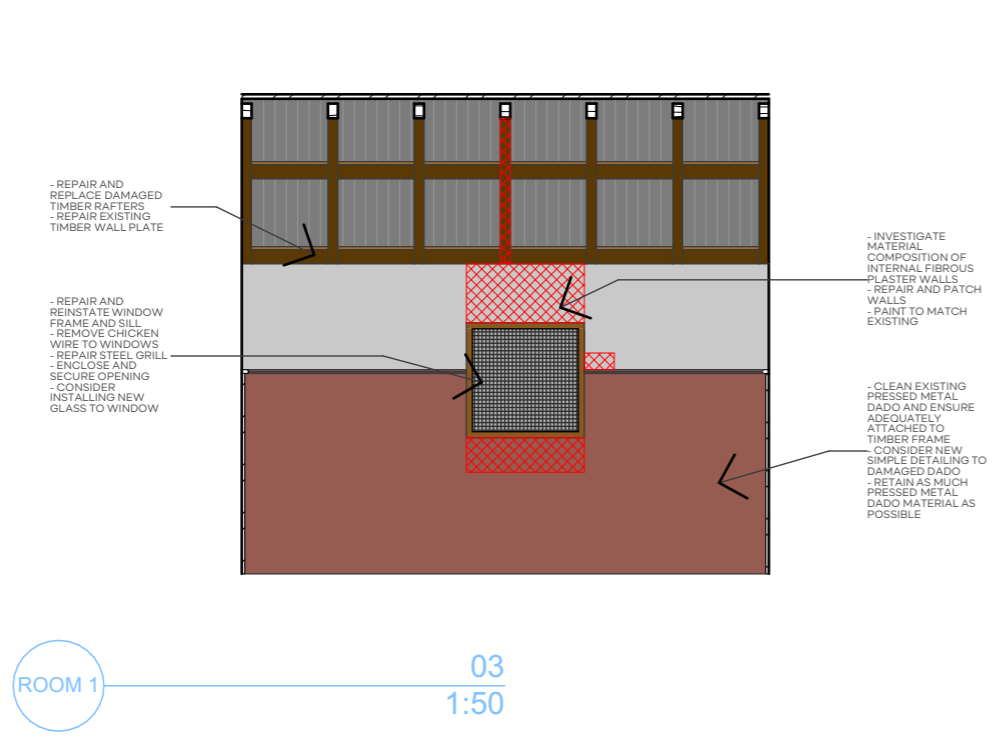
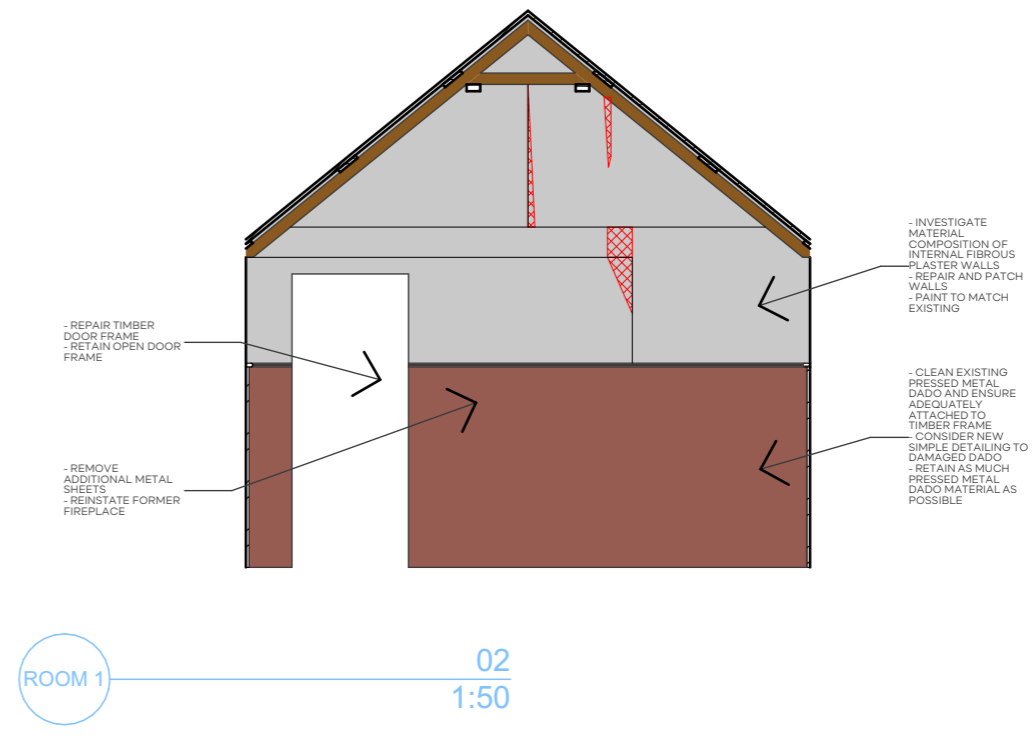
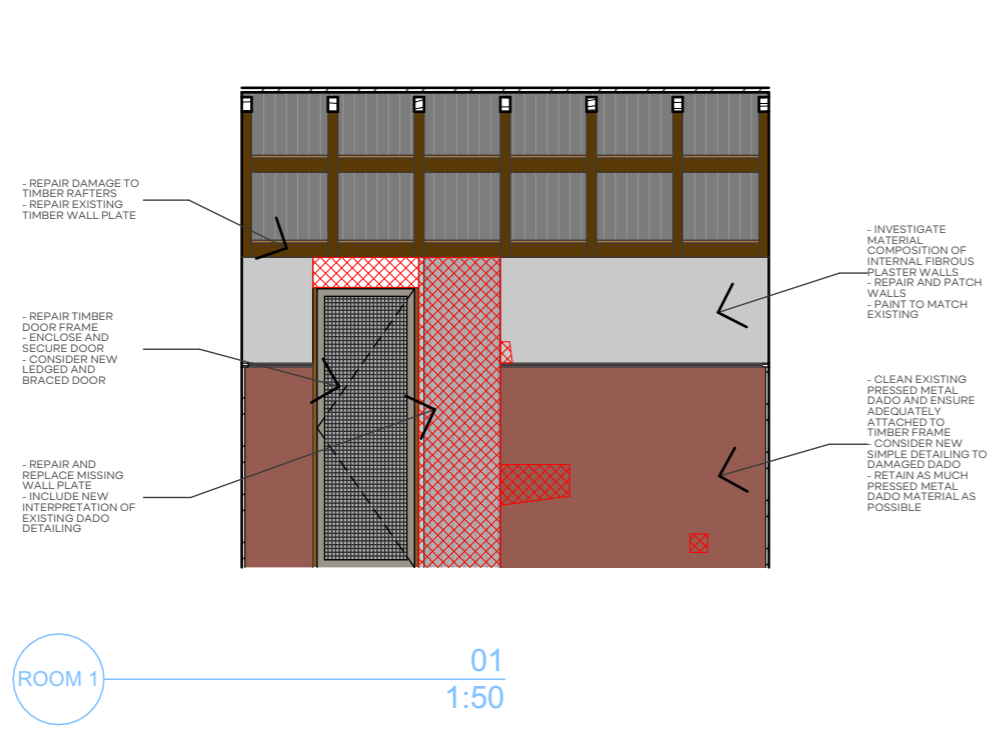
164 OLD PADBURY ROAD,  
BALINGUP WA 6253

DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION.

Existing Elevations

**4**

Scale: 1:50 @ A3



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**Golden Valley Tree Park**

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DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION.

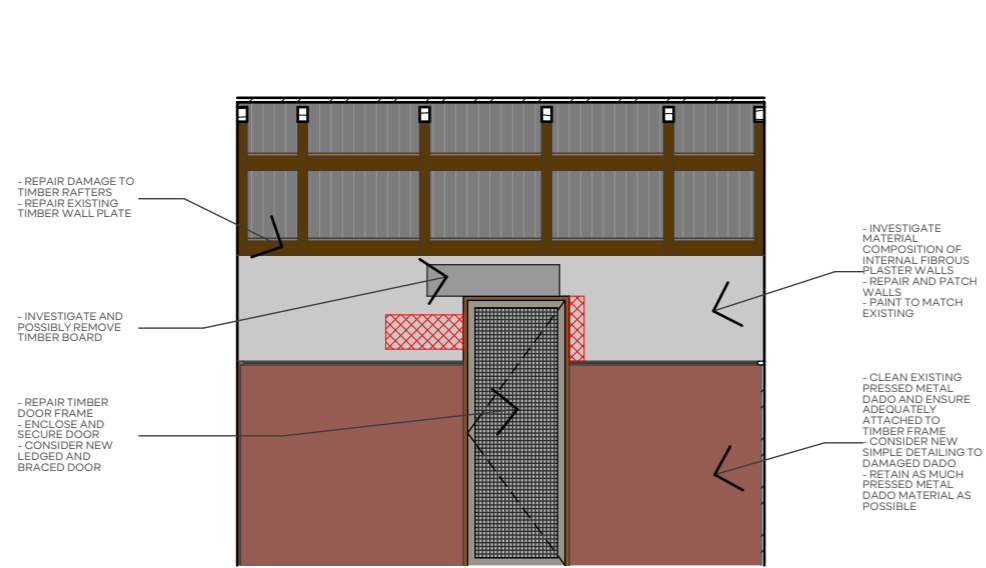
**Interior Elevations- Room 1**

**5**

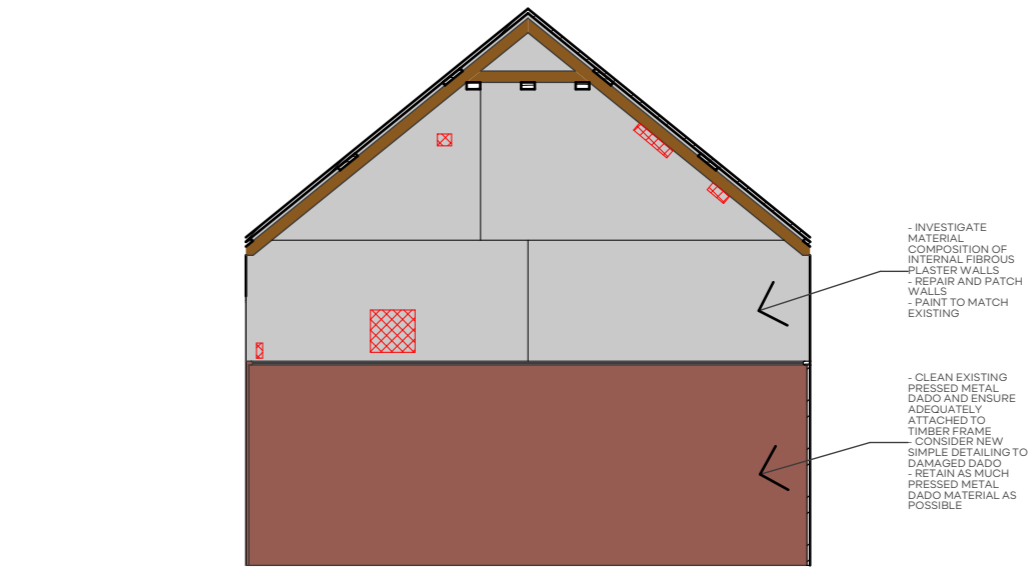
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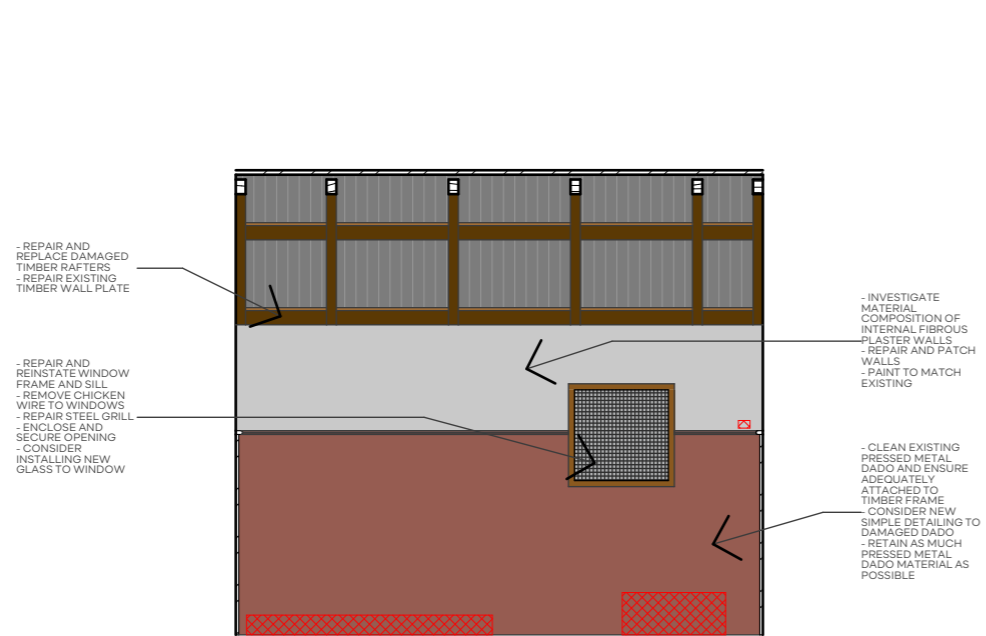




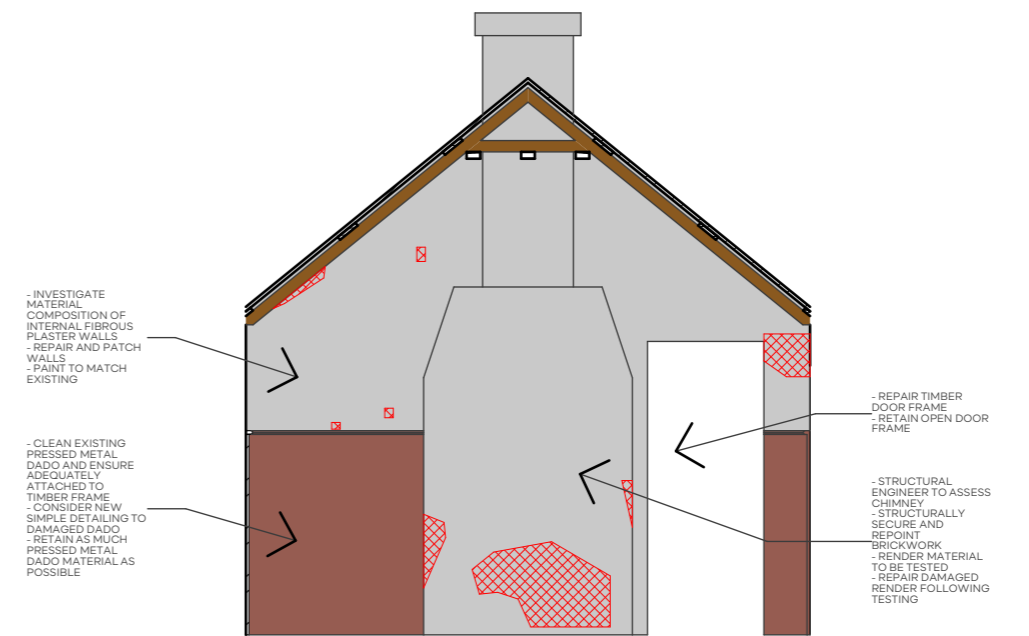
ROOM 2 01  
1:50



ROOM 2 02  
1:50



ROOM 2 03  
1:50



ROOM 2 04  
1:50

**NOTES - GENERAL**

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**Golden Valley Tree Park**

Project No. 7341

164 OLD PADBURY ROAD,  
BALINGUP WA 6253

DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION.

**Interior Elevations- Room 2**

**6**

Scale : 1:50 @ A3



- INTRODUCE CONTEMPORARY OPENING TO CONNECT INTERIOR WITH EXTERIOR VIEWS OF PARK (OPTIONAL INTERPRETATION/ FUTURE USE)

- REPAIR TIMBER DOOR FRAME  
- ENCLOSE AND SECURE DOOR  
- CONSIDER NEW LEDGED AND BRACED DOOR

- REINSTATE FIREPLACE TO ROOM 1

- INTRODUCE BENCH SEATING FOR PARK VISITORS (OPTIONAL FUTURE USE)

- SUB FLOOR WORKS TO BE ADDRESSED AS PER ENGINEER REPORT  
- INSTALL NEW TIMBER JOISTS AND FLOORBOARDS TO MATCH EXISTING  
- ALLOW TO OIL TIMBER FLOORBOARDS

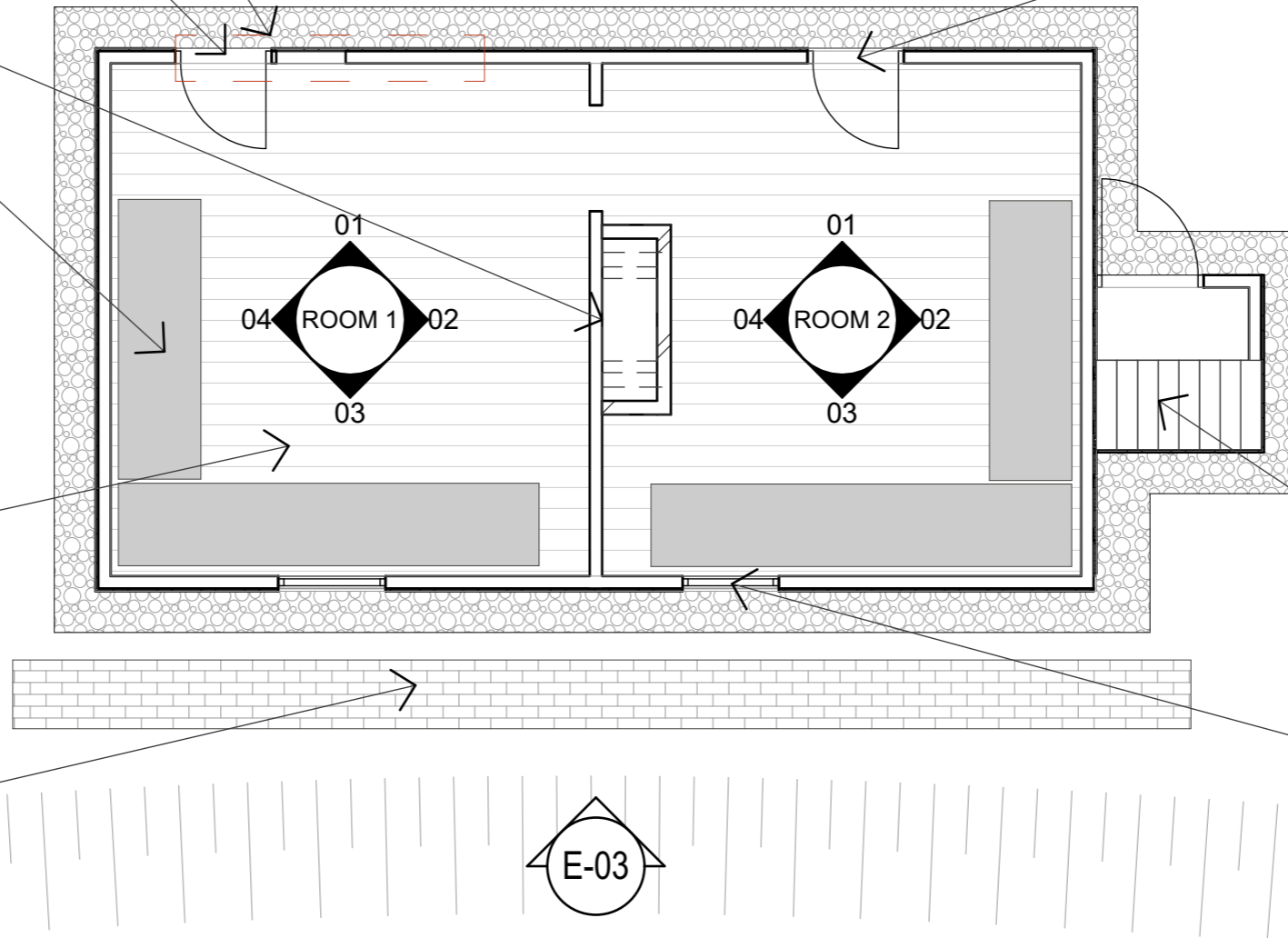
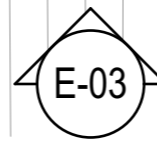
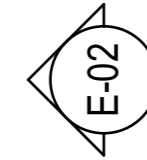
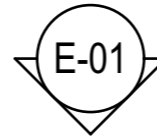
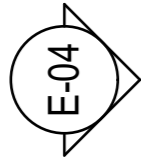
- REMOVE GRASS AND SOIL AROUND PERIMETER OF BUILDING  
- INCREASE EXISTING TRENCH TO PERIMETER TO ALLOW FOR RUNOFF (GROUND LEVELS TO SLOPE AWAY FROM THE BUILDING)  
- INSTALL A BLUE METAL BREATHING STRIP TO BUILDING PERIMETRE  
- INSTALL BRICK DRAIN TO WESTERN SIDE (DRAIN TO FALL SOUTH TO NORTH)

INTRODUCE INTERPRETATIVE SIGNAGE (OPTIONAL INTERPRETATION)

- REPAIR TIMBER DOOR FRAME  
- ENCLOSE AND SECURE DOOR  
- CONSIDER NEW LEDGED AND BRACED DOOR

REPAIR AND REINSTATE BENCH SEAT

- CONSIDER INSTALLING NEW FRAME AND GLASS TO WINDOWS



**NOTES - GENERAL**

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**Golden Valley Tree Park**

Project No. 7341

164 OLD PADBURY ROAD,  
BALINGUP WA 6253

DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION.

**Proposed Floor Plan**

**7**

Scale: 1:50 @ A3





## APPENDIX A: PHOTOGRAPHS



West Elevation



North Elevation



East Elevation



South Elevation



North East entry door



South East entry door frame





External earth closet attached to the southern elevation



Timber door to attached external earth closet



Remains of existing toilet bench



Internal structure to earth closet



Timber boards to southern gable



South west corner with missing timber board



Window and damaged steel sheets along western elevation



'Trademark Redcliffe' stamp on western corrugated steel sheets



Rusted roof sheets and chimney



Damaged render to chimney



Room 1 east internal elevation



Room 1 northern gable internal lining





Room 1 northern dado panelling



Room 1 north west corner



Room 1 south west corner



Room 1 southern wall



Room 1 roof structure



Room 1 floor



Room 2 internal entry door



Room 2 east internal elevation



Room 2 south internal elevation



Room 2 west internal elevation



Room 2 north internal elevation



Damage to render at base of chimney





Damage to brick chimney



Internal door frame



Damaged timber detailing to door frame



Internal door damaged and removed



Man made lake to the north of the building



View north-west towards the homestead